



FLUVANNA COUNTY BOARD OF SUPERVISORS

REGULAR MEETING AGENDA

Carysbrook Performing Arts Center
8880 James Madison Hwy, Fork Union, VA 23055
August 17, 2022 at 7:00 pm

TAB	AGENDA ITEMS
1	CALL TO ORDER
2	PLEDGE OF ALLEGIANCE AND MOMENT OF SILENCE
3	ADOPTION OF AGENDA
4	COUNTY ADMINISTRATOR'S REPORT
5	PUBLIC COMMENTS #1 (5 minutes each)
6	PUBLIC HEARING
A	ZMP 22:03 Wolfpack Properties LLC– Douglas Miles, Community Development Director
B	ZTA 22:01 Commercial Uses – Douglas Miles, Community Development Director
C	Third Amendment to Structure Lease Agreement with New Cingular Wireless PCS, LLC – Eric Dahl, County Administrator
7	ACTION MATTERS
D	Career Development Certification Pay – Tristana Treadway, Master Circuit Court Clerk and Mel Sheridan, Master Commissioner of the Revenue
E	Compression Pay Raise for Sheriff Deputies in Non Compensation Board Positions – Eric Hess, Sheriff
F	Waiver to Administer an Existing Split Precinct – Joyce Pace, General Registrar
7A	APPOINTMENTS
8	PRESENTATIONS (normally not to exceed 10 minutes each)
G	VDOT Quarterly Update – Scott Thornton, VDOT Residency Administrator
9	CONSENT AGENDA
H	Minutes of July 6, 2022 – Caitlin Solis, Clerk to the Board
I	Minutes of August 3, 2022 – Caitlin Solis, Clerk to the Board
J	CRMF - Central Elementary Chillers – Don Stribling, FCPS
K	CRMF - Public Safety Building 5 Ton Heat Pump Upgrade – Dale Critzer, Assistant Director of Public Works
10	UNFINISHED BUSINESS
L	SUP 22:01 Johnston & Co LLC – Douglas Miles, Community Development Director
11	NEW BUSINESS
	TBD
12	PUBLIC COMMENTS #2 (5 minutes each)
13	CLOSED MEETING

Fluvanna County...The heart of Virginia and your gateway to the future!

For the Hearing-Impaired – Listening device available in the Board of Supervisors Room upon request. TTY access number is 711 to make arrangements.
For Persons with Disabilities – If you have special needs, please contact the County Administrator's Office at 591-1910.

TBD

14 – ADJOURN



County Administrator Review

Fluvanna County...The heart of Virginia and your gateway to the future!

*For the Hearing-Impaired – Listening device available in the Board of Supervisors Room upon request. TTY access number is 711 to make arrangements.
For Persons with Disabilities – If you have special needs, please contact the County Administrator's Office at 591-1910.*

PLEDGE OF ALLEGIANCE

I pledge allegiance, to the flag,
of the United States of America,
and to the Republic for which it stands,
one nation, under God, indivisible,
with liberty and justice for all.

GENERAL RULES OF ORDER

1. It shall be the duty of the Chairman to maintain order and decorum at meetings. The Chairman shall speak to points of order in preference to all other members.
2. In maintaining decorum and propriety of conduct, the Chairman shall not be challenged and no debate shall be allowed until after the Chairman declares that order has been restored. In the event the Board wishes to debate the matter of the disorder or the bringing of order; the regular business may be suspended by vote of the Board to discuss the matter.
3. No member or citizen shall be allowed to use defamatory or abusive language directed at any member of the Board or other person, to create excessive noise, or in any way incite persons to use such tactics. The Chair shall be the judge of such breaches, however, the Board may by majority vote of the Board members present and voting to overrule the judgment of the Chair.
4. When a person engages in such breaches, the Chairman shall order the person's removal from the building, or may order the person to stand silent, or may, if necessary, order the person removed from the County property.

RULES OF PROCEDURE FOR PUBLIC HEARINGS

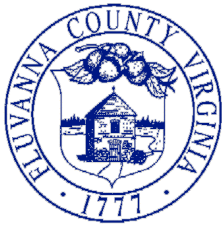
1. PURPOSE
 - The purpose of a public hearing is to receive testimony from the public on certain resolutions, ordinances or amendments prior to taking action.
 - A hearing is not a dialogue or debate. Its express purpose is to receive additional facts, comments and opinion on subject items.
2. SPEAKERS
 - Speakers should approach the lectern so they may be visible and audible to the Board.
 - Each speaker should clearly state his/her name and address.
 - All comments should be directed to the Board.
 - All questions should be directed to the Chairman. Members of the Board are not expected to respond to questions, and response to questions shall be made at the Chairman's discretion.
 - Speakers are encouraged to contact staff regarding unresolved concerns or to receive additional information.
 - Speakers with questions are encouraged to call County staff prior to the public hearing.
 - Speakers should be brief and avoid repetition of previously presented comments.
3. ACTION
 - At the conclusion of the public hearing on each item, the Chairman will close the public hearing.
 - The Board will proceed with its deliberation and will act on or formally postpone action on such item prior to proceeding to other agenda items.
 - Further public comment after the public hearing has been closed generally will not be permitted.

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FLUVANNA COUNTY BOARD OF SUPERVISORS AGENDA ITEM STAFF REPORT

TAB A

MEETING DATE:	August 17, 2022				
AGENDA TITLE:	ZMP 22:03 Wolfpack Properties LLC				
MOTION(s):	I move that the Board of Supervisors (approve/deny/defer) ZMP 22:03, Wolfpack Properties LLC a request to conditionally rezone from A-1, General Agricultural to the B-1, General Business Zoning District of 35 +/- acres of Tax Map 9 Section A Parcels 11, 11B, 11C, 11D, 11F and 11G along with the proffers dated August 3, 2022.				
STRATEGIC INITIATIVE?	Yes	No	If yes, list initiative(s):		
		X			
AGENDA CATEGORY:	Public Hearing	Action Matter	Presentation	Consent Agenda	Other
	X				
STAFF CONTACT(S):	Douglas Miles, Community Development Director				
PRESENTER(S):	Douglas Miles, Community Development Director				
RECOMMENDATION:	At its meeting on August 9, 2022 the Planning Commission recommended Approval of ZMP 22:03 Wolfpack Properties LLC with the proffers dated August 3, 2002 (3-1-1); Ms. Murray-Key moved to recommend Approval and Mr. Lagomarsino seconded. AYES: Murray-Key, Lagomarsino, Bibb; NAY: Goad; Absent: Zimmer				
TIMING:	Normal Public Hearing review process				
DISCUSSION:	Regarding ZMP 22:03 Wolfpack Properties LLC, the Board of Supervisors may: <ul style="list-style-type: none"> Approve this request, allowing the land uses to be constructed; OR Deny this request, preventing the land uses from being constructed; OR Defer this request and make a final decision at a later Board meeting date 				
FISCAL IMPACT:	N/A				
POLICY IMPACT:	N/A				
LEGISLATIVE HISTORY:	Review of a proposed Conditional Rezoning in accordance with Chapter 22 of the Fluvanna County Code Zoning Ordinance. The Planning Commission reviewed this ZMP case request on July 12, 2022 through the Public Hearing review process.				
ENCLOSURES:	Wolfpack Properties LLC Staff Report and Proffers dated August 3, 2022				
REVIEWS COMPLETED:	Legal	Finance	Purchasing	HR	Other
	X				



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

BOS0222-08-17 p.7/166
132 Main Street
P.O. Box 540
Palmyra, VA 22963
(434) 591-1910
Fax (434) 591-1911
www.fluvannacounty.org

BOARD OF SUPERVISORS STAFF REPORT

To: Fluvanna County Board of Supervisors
Request: B-1, General Business District

From: Douglas Miles, AICP, CZA
District: Palmyra Election District

General Information:

This conditional rezoning request is scheduled to be heard by the Board of Supervisors as a Public Hearing on Wednesday, August 17, 2022 at 7:00 pm at the Carysbrook Performing Arts Center.

Owner/Applicant:

Joseph Jones / Wolfpack Properties, LLC

Representative:

Justin Shimp, PE / Shimp Engineering

Requested Action:

ZMP 22:03 Wolfpack Properties LLC - A request to conditionally rezone from A-1, General Agricultural to the B-1, General Business Zoning District of 35 +/- acres of Tax Maps 9 Section A Parcels 11, 11B, 11C, 11D, 11F and 11G. The subject properties are generally located along the south line of Lake Monticello Road (SR 618) and west of Glen Burnie Road, approximately two (2) miles east on Lake Monticello Road from its intersection with Thomas Jefferson Parkway (SR 53) and are in the Rivanna (Lake Monticello) Community Planning Area and Palmyra Election District.

Existing Zoning:

A-1, General Agricultural Zoning District

Proposed Zoning:

B-1, General Business Zoning District with proffered conditions

Existing Land Use:

Vacant or single family dwellings to be removed on the premises

Property Proposal:

The property is located within the Rivanna Community Planning Area and a new commercial center and medical emergency center would further enhance the commercial mixed-uses found in the Lake Monticello community. The property owner proposes to facilitate the construction of a new emergency center to help meet the need for providing senior medical services as specified in the Rivanna Plan recommendations. The closest available emergency center is located 13 miles away in Zion Crossroads with drive time averaging 25 minutes which is very long during medical

emergencies. The growing needs overall in Fluvanna County for emergency medical care covers all demographic age groups and the chance to provide most medical services to our community.

The American Community Survey (ACS) five (5) year estimates indicate that sixty (60) percent of the Lake Monticello residents are over the age of 60 and that is projected to increase and to become an even greater need. Therefore, the time has come for Fluvanna County to seek out better medical providers and emergency center facilities to be located in the county rather than the long commutes to surrounding jurisdictions. As the County is also experiencing a similar rise in senior medical services and overall human services needs with rural areas needing to consider to further enhance the emergency medical center offerings and to potentially tap into an available medical and surgical workforce that resides in Lake Monticello and that commutes out to UVA.

Emergency center: *A facility that offers the same level of service offered at a hospital emergency room that must be staffed 24 hours a day, 365 days a year, including weekends, holidays, and during inclement weather. An emergency center can accept ambulance transports and have medical flight capabilities with helicopter landing and take-off areas as approved helipads and/or heliport areas. (proposed Zoning Ordinance definition through the ZTA 22:01 request)*

Transportation Planning:

Wolfpack Properties, LLC is the Applicant for a proposed conditional rezoning and they are seeking to rezone six (6) parcels that comprise 35 +/- acres located on Lake Monticello Road (SR 618) Please see the applicant's VDOT 2019 Traffic Data, ITE Trip Generation Summary and Warrant Analysis Exhibits that were filed in conjunction with this rezoning application request.

Fluvanna County will require any accessory helicopter landing and takeoff area that it will need to be both permitted and constructed through the proper approvals to serve the future emergency center use. Fluvanna County Fire and Rescue Squad volunteers along with the Lake Monticello volunteers will continue to work within the existing confines of having emergency only landings.

The potential for adding an additional retail grocery store, emergency center and supporting retail and medical services is very important given that diesel and gas fuel prices and the higher costs for all electric vehicle voltage charges will continue to increase in the coming months and years.

JAUNT shuttle service from even more rural areas such as Buckingham County into Fluvanna County could potentially increase and allow for other regional residents to shop and seek medical services at this new commercial location. They may not continue into Albemarle and the City of Charlottesville and thereby decreasing the pass through commute times and potentially allowing for retail tax revenues to be captured within Fluvanna County rather than the typical commercial retail tax leakage into all other jurisdictions that include Goochland County and Henrico County.

Projected AQUA Water Usage:

The applicant's engineering consultant has worked with AQUA Virginia on these projected water usage figures based on potential land uses of: a Shopping Center, a Hospital use and/or Medical office uses:

Shopping centers can use about 300 gallons per day (gpd) per every 1,000 square feet; Hospitals 300 gpd per bed or exam room; and Medical offices 5 gpd per employee with an overall rate of ten (10) gallons per minute. A professional estimate has been provided of 81,000 square feet of retail shopping center space; 25,000 square feet of hospital space; and 39,000 square feet of medical office space uses approximately 36,000 total gallons per day which is currently available within the AQUA water system.

Additional water and sewer consumption rate engineering site work would be performed at the time of Schematic Plan and Site development plan review and approval as the land uses are considered for site construction. AQUA engineering work has been performed previously when the one hundred twenty (120) senior apartments were being proposed at Village Oaks so the fire suppression calculations have been performed and confirmed by the AQUA engineers. They will work directly with the developer once they have actual users in order to determine what type of water and sewer supply will be needed.

Comprehensive Plan:

Land Use Chapter:

The Comprehensive Plan designates this property as within the Rivanna Community Planning Area which makes up approximately 40 percent of the county's population and mainly in the Lake Monticello community. The Rivanna Community Planning Area is the most developed area in the county and it contains a mixture of residential and commercial uses. Medium and small commercial uses, along with the office, civic and residential uses all combine to form a series of neo-traditional developments that are interconnected with surrounding development at the Lake gate areas. The proposed request is located in the Neighborhood Mixed Use area which includes a mix of retail and office uses providing employment opportunities to the surrounding residents.

Zoning Ordinance:

B-1 Zoning District:

The applicant has proffered out B-1, General Business by right land uses that include Automobile sales; Boarding houses; Self-storage facilities and Indoor Shooting ranges and these by special use permit only land uses Adult entertainment establishments; Adult retail stores; Lumberyards; Railroad facilities and Transportation facilities. These same type uses have been typical uses to be proffered out in other B-1, General Business zoning district conditional rezoning requests that are not appropriate to support the residential mixed-use needs at the regional neighborhood scale.

The applicant intends to retain the commercial land uses that relate to retail shopping centers and outparcels such as Bakeries, Daycare centers, Financial institutions, Grocery stores, Hospitals, Medical clinics and offices, Pharmacies, Restaurants, and Retail stores and shops that will tend to create more of a Village center to serve the surrounding community. The property was originally proposed to be developed as a limited rural cluster subdivision within the Rivanna Community Planning Area. These commercial and medical office uses will serve the surrounding community better than residential homes that do not contribute to the Fluvanna County business tax base.

Neighborhood Meeting:

A neighborhood community meeting was held back on Wednesday, June 29, 2022 at 7:00 pm by the applicant and consultant in the Lake Monticello Rescue Squad building with approximately twenty (20) residents in attendance. The main topics of discussion focused upon the potential for additional traffic along Lake Monticello Road (SR 618) and also in close vicinity to the Lake Monticello Main gate that at times, traffic backs up during peak am and pm periods onto Lake Monticello Road.

Update: The applicant has conducted on-site meetings with LMOA Administration and LMOA Public Safety officials in order to work on a private agreement on a potential LMOA gate onto Jefferson Drive. The Lake Monticello Owners' Association (LMOA) will be the entity in which to work out a potential agreement with. VDOT and Fluvanna County staff members are mainly concerned with where traffic would be accessing Lake Monticello Road (SR 618) and it would be addressed at the time of Schematic Plan review and the administrative site plan review stages.

The applicant indicated that they seek to establish a traditional commercial center use which may include uses such as an anchor grocery store, emergency center, outparcel bank, retail, office and sit-down restaurant uses that would provide the necessary neighborhood services that are lacking around the Lake Monticello development. Additional uses such as a new daycare center for both area residents and employees of the commercial uses and emergency center could be considered.

Planning Commission:

The Planning Commission conducted a Public Hearing on this request on July 12, 2022 and all of the public speakers were in support of the proposed request to bring the first new shopping center and medical office park to Fluvanna County since 2003; which is almost twenty (20) years ago.

The Planning Commission heard additional public comments on August 9, 2022 prior to the case being discussed under Unfinished Business after the applicant had completed their Statement of Proffers which provides for a conceptual layout, screening, construction entrance restrictions and excluded land uses and then recommended Approval 3-1 along with the August 3, 2022 proffers.

It is important to note that an applicant cannot proffer what they will construct - as defined land uses are market driven. Yet, having B-1, General Business zoning in place allows for a greater chance that a large anchor tenant like a Grocery store and pharmacy use would locate in an area. There is a new business trend to move away from urbanized areas into suburban growth areas.

When a community provides positive support it is more likely that a business will select that same community to construct their store location. As once zoning is in place with supporting infrastructure the potential business with little to no competition in an area they will choose to construct a new business to offer their goods and services along with an available workforce.

Conclusion:

When reviewing this conditional rezoning application, the Board of Supervisors should take into consideration any potential adverse impacts that the development may have on this portion of Fluvanna County and traffic generation issues have been analyzed by the applicant's engineering consultant. There are additional concerns along the Lake Monticello Road (SR 618) corridor to be addressed and as it has been discussed the opportunity to consider having an additional gate access into Lake Monticello in the rear portion of this proposed development. It would allow for the specific LMOA traffic to not have to use the additional ingress and egress areas onto SR 618.

Suggested Motion:

I move that the Board of Supervisors (Approves/denies/defers) ZMP 22:03, a request to amend the Fluvanna County Zoning Map on 35 +/- acres of Tax Map 9 Section A Parcels 11, 11B, 11C, 11D, 11F and 11G to rezone the same from A-1, General Agricultural, to B-1, General Business and subject to the proffers dated August 3, 2022.

Attachments:

Application and Statement of Proffers 8-3-22
Adjacent Property Owner Letter 8-1-22
Applicant's Illustrative Exhibit A 8-3-22
B-1 Zoning District land use summary



COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA
Application for Rezoning

RECEIVED
BOS0222-08-17 p.12/166

JUN 22 2022

Fluvanna County
Planning Dept

Owner of Record: Wolfpack Properties LLC

Applicant of Record: same as owner

Address: P.O. Box 4884 Glen Allen, Va. 23058

Address:

Phone: (804) 687-5003

Fax:

Phone:

Fax:

Email: JunahJones@protonmail.com

Email:

Representative: Shimp Engineering PC

Address: 912 E. High Street, Charlottesville, VA, 22902

Phone: (434)227-5140

Fax:

Email:

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.

If property is in an Agricultural Forestal District, or Conservation Easement, please list information here:

Tax Map and Parcel(s) 9-A-11, 9-A-11 B, 9-A-11 C, 9-A-11 D, 9-A-11 F, and 9-A-11 G

Acreage 34.92

Current Zoning A-1

Is parcel in Land Use Valuation Program? ☐ No ☐ Yes

Deed Book and Page:

Location of Parcel: Lake Monticello Road

If any Deed Restrictions, please attach a copy

Requested Zoning B-1 Proposed Use of Property Commercial

Affidavit to Accompany Petition for Rezoning

By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees, the Planning Commission, and the Board of Supervisors during the normal discharge of their duties in regard to this request.

I/We, being duly sworn, depose and say that we are Owner/Contract Owner of the property involved in this application and that we have familiarized ourselves with the rules and regulations of the Zoning Ordinance with respect to preparing and filing this application, and that the foregoing statements and answers herein contained and the information on the attached map to the best of our ability present the argument on behalf of the application herewith requested and that the statements and information above referred to are true and correct to the best of our knowledge.

Date: 6/22/2022 Signature of Owner/Applicant:

Subscribed and sworn to before me this

22

day of

June, 2022

Register # 767 5991

My commission expires:

06/30/2024

Notary Public:

Caitlin Solis

All plats must be folded prior to submission to the Planning Department for review. Rolled plats will not be accepted.

Office Use Only

Date Received:

Pre-Application Meeting:

PH Sign Deposit Received:

Application #: ZMP 22:03

\$1,000 fee paid:

check 1022

Mailing Costs: \$20.00 per Adjacent Property Owner after first 15, Certified. Paid:

Proffer or Master Plan Amendment: \$750.00 plus mailing costs. Paid:

Election District:

Palmyra

Planning Area:

Bivanna Community

Public Hearings

Planning Commission

Board of Supervisors

Advertisement Dates:

Advertisement Dates:

APO Notification:

APO Notification:

Date of Hearing:

Date of Hearing

Decision:

Decision:



BOS0222-08-17 p13/166

RECEIVED

JUN 22 2022

COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA
Public Hearing Sign Deposit

Fluvanna County
Planning Dept

Name: Wolfpack Properties LLC

Address: P.O. Box 4884
P.O. box

City: Glen Allen

State: VA Zip Code: 23058

I hereby certify that the sign issued to me is my responsibility while in my possession.
Incidents which cause damage, theft, or destruction of these signs will cause a partial or full
forfeiture of this deposit.

Joseph A. Wolfpack Properties, LLC. 6/22/22
Applicant Signature Date

*Number of signs depends on number of roadways property adjoins.


Office Use Only	
Application #: BZA : CPA : SUP : ZMP <u>22: 03</u> ZTA :	
\$90 deposit paid per sign*: <u>check 1023</u>	Approximate date to be returned:



Commonwealth of Virginia

County of Fluvanna

Rezoning Application Checklist


 BOS0222-08-17 PL14/166
 JUN 2 2 2022
 Fluvanna County
 Planning Dept

The following information shall be submitted with the application and is to be provided by the applicant for the processing of the application:

Applicant must supply	Staff Checklist
Completed Rezoning Application signed by the current owner(s) or lessee or written confirmation from the current owner or lessee granting the right to submit the application	
<ul style="list-style-type: none"> Statement on proposed use of property and reason for rezoning Ten (10) copies of plats showing existing and proposed improvements (if applicable) Deed restrictions (if applicable) Copy of the Tax Map showing the site (preferred) General Location Map (preferred) 	
Supporting photographs are not required, but suggested for evidence	

All maps and plans submitted are to be either 8.5"x 11" or 11"x 17". One original of any size may be for staff use at the public hearing.

Staff Only	Staff Checklist
Preliminary review by planning staff for completeness and content:	
<ul style="list-style-type: none"> Technical Review Committee review and comment Determine all adjacent property owners Placed as a Public Hearing on the next available agenda of the Planning Commission. 	
Notification of the scheduled Public Hearing to the following:	
<ul style="list-style-type: none"> Applicant All adjacent property owners Local Newspaper advertisement 	
Staff Report to include, but not be limited to:	
<ul style="list-style-type: none"> General information regarding the application Any information concerning utilities or transportation Consistency with good planning practices Consistency with the comprehensive plan Consistency with adjacent land use Any detriments to the health, safety and welfare of the community. 	

SHIMP ENGINEERING, P.C.

Design Focused Engineering

June 20, 2022

Route 618 Commercial Rezoning Traffic Study

Wolfpack Properties LLC is the Applicant (the “applicant”) for a proposed rezoning in Fluvanna County, Virginia. The applicant seeks to rezone six parcels in the Rivanna Planning area, tax map parcels 9-A-11, 9-A-11G, 9-A-11F, 9-A-11B, 9-A-11C, and 9-A-11D (collectively, the “property”). The 35-acre property is located on Route 618 Lake Monticello Road, approximately two miles east from its intersection with Route 53 Thomas Jefferson Parkway. The property is currently zoned A-1 General Agricultural and the rezoning request to B-1 General Business seeks to establish a commercial center within the Rivanna Planning Area.

1. VDOT 2019 Traffic Data

The following table provides VDOT 2019 traffic data on the 4.03-mile segment of Route 618 Lake Monticello Road from Route 53 Thomas Jefferson Parkway to Route 600 S Boston Road. The speed limit on this portion of Route 618 is 45-mph. For further accuracy, estimated trips generated by the commercial shopping have been added to the 2019 AADT and accounted for in this warrant analysis. The trip generation is based on potential end users typical of a commercial center. Trip generation for the mixed-use development allows for use of an internal capture rate of 15%.

Route 618 Lake Monticello Rd. Background Traffic	
2-lane highway	
4.03-mile segment	
45-mph	
AADT (2019)	3,100
K	0.099
D	0.603
Peak Hour Total	307
Peak Hour Direction A (west)	185
Peak Hour Direction B (east)	122

SHIMP ENGINEERING, P.C.

Design Focused Engineering

Project Narrative For: Route 618 Commercial Center | Rezoning Request

Parcel Description: Tax Parcel 9-A-11, 9-A-11 B, 9-A-11 C, 9-A-11 D, 9-A-11 F, and 9-A-11 G

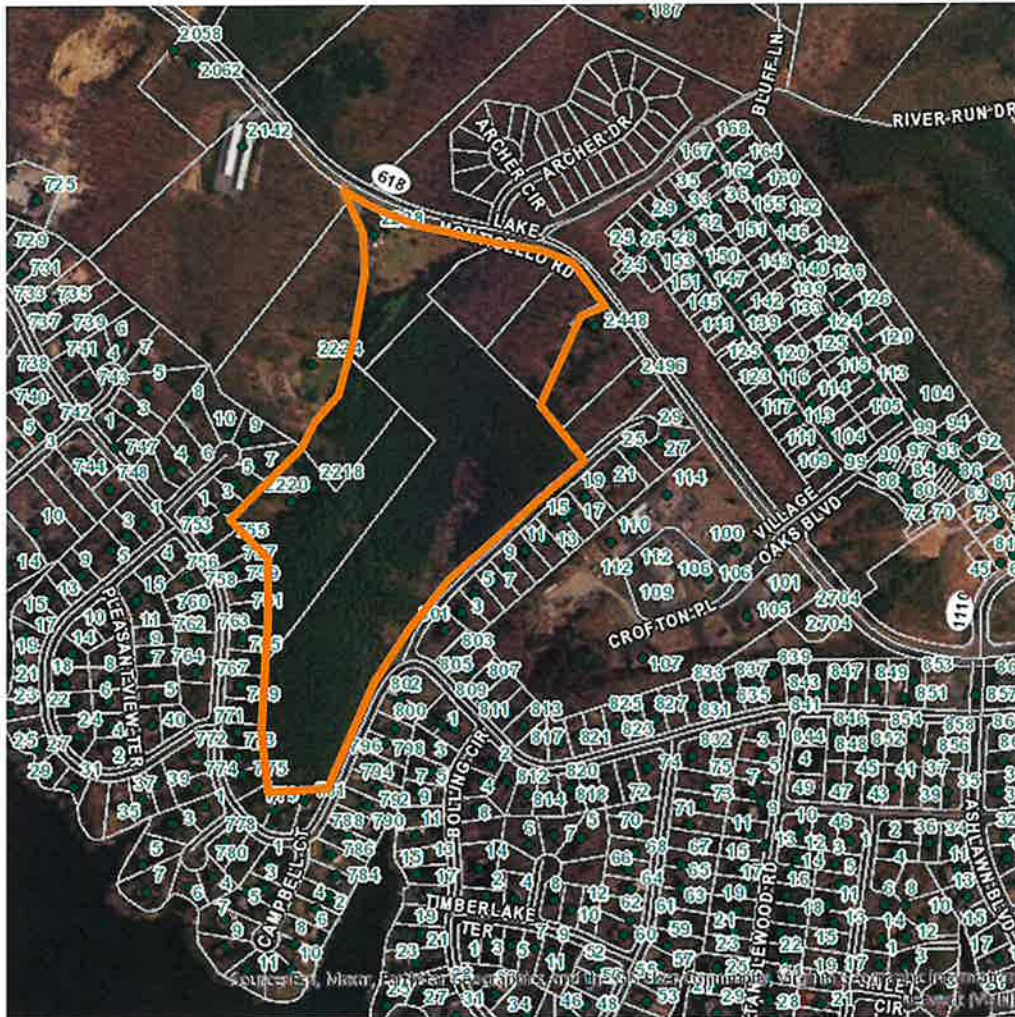
Initial Submittal: June 20, 2022

Pre-App Meeting Date: June 9, 2022

	ACREAGE	EXISTING ZONING	PROPOSED ZONING	COMP PLAN DESIGNATION
TMP 9-A-11(B, C, D, F, and G)	34.94	A-1	B-1	Community Planning Area

Location:

Approximately 2 miles east on Lake Monticello Road from its intersection with Thomas Jefferson Parkway.



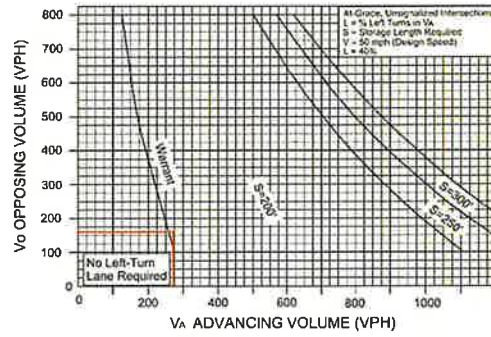


FIGURE 3-15 WARRANT FOR LEFT TURN STORAGE LANES ON TWO LANE HIGHWAY

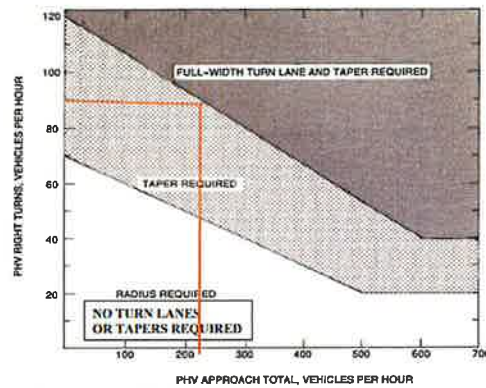


FIGURE 3-26 WARRANTS FOR RIGHT TURN TREATMENT (2-LANE HIGHWAY)

Appropriate Radius required at all Intersections and Entrances (Commercial or Private).

LEGEND

PHV - Peak Hour Volume (also Design Hourly Volume equivalent)

Adjustment for Right Turns

For posted speeds at or under 45 mph, PHV right turns > 40, and PHV total < 300.

Adjusted right turns = PHV Right Turns - 20

If PHV is not known use formula: $PHV = ADT \times K \times D$

K = the percent of AADT occurring in the peak hour

D = the percent of traffic in the peak direction of flow

Note: An average of 11% for K x D will suffice.

When right turn facilities are warranted, see Figure 3-1 for design criteria.*

STATEMENT OF PROFFERS

Pursuant to Section 15.2-2296 of the Code of Virginia and Section 22-17-9 of the Fluvanna County Zoning Ordinance, Wolfpack Properties, LLC, as the Developer (the “Developer”) of record of Tax Map 9 Section A Parcels 11, 11B, 11C, 11D, 11F, and 11G (collectively, the “Property”) which is the subject of this Conditional Rezoning request, ZMP 22:03, does hereby voluntarily proffer that development of the Property shall be in strict accordance with the following conditions set forth in this submission:

The Developer presents this statement of proffers for Tax Map 9 Section A Parcels 11, 11B, 11C, 11D, 11F, 11G:

1. CONCEPTUAL REZONING EXHIBIT: An Illustrative Exhibit is attached as: **EXHIBIT A** and it is conceptual in nature and is shown in consideration of rezoning request ZMP 22:03. The final site plan(s) shall provide for safe and convenient vehicular and pedestrian circulation between sites to be occupied by complementary uses.

2. SCREENING: The Property shall be screened from view in substantial accordance with the Illustrative Exhibit, submitted August 3, 2022 as prepared by Shimp Engineering, PC along with the requirements of Section 22-24-7 of the Fluvanna County Zoning Ordinance. The Developer will maintain a one hundred (100) foot vegetative buffer along the shared property boundaries and with adjacent properties fronting on Jefferson Drive, starting at the intersection of Glen Burnie Road and Jefferson Drive.

3. CONSTRUCTION ENTRANCE: The VDOT approved construction entrance(s) for the Property, including primary ingress and egress for any logging operations, shall be established from Route 618. The Developer shall notify VDOT and Fluvanna County prior to commencing any construction or logging activity. No construction entrance shall be permitted to connect to Jefferson Drive, or any road inside the gates of Lake Monticello.

4. EXCLUDED USES:

The following permitted by right land uses shall be excluded from the Property under B-1 Zoning Section 22-9-2.1:

Commercial Uses: Automobile sales, Boarding houses; Self-storage facilities; and Shooting ranges, indoor

The following uses permitted by special use permit only shall be excluded from the Property under B-1 Zoning Section 22-9-2.2:

Commercial Uses: Entertainment establishments, adult; Retail stores, adult; and Transportation terminals.

Industrial Uses: Lumberyards, Railroad facilities

I hereby acknowledge as the Property Developer that the Conditional Rezoning of the Property gives rise to the need for these conditions and that these conditions are reasonable.



WOLFPACK PROPERTIES, LLC

Joseph T. Jodis - Managing Member

8/3/22

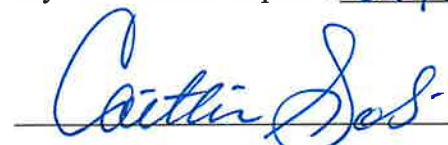
Date

COMMONWEALTH OF VIRGINIA

CITY/COUNTY OF Fluvanna

I, Caitlin Solis, a Notary for the State of Virginia
do verify that the foregoing instrument was signed before me this the 3 day of
August, 2022.

My commission expires: 06/30/2024



Notary Public



RECEIVED

AUG 03 2022

**Fluvanna County
Planning Dept**

ILLUSTRATIVE EXHIBIT A



BOS0222-08-17 p.20/166



COUNTY OF FLUVANNA

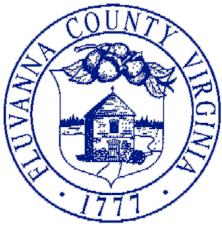
"Responsive & Responsible Government"

BOS0222-08-17 p.21/166
132 Main Street
P.O. Box 540
Palmyra, VA 22963
(434) 591-1910
Fax (434) 591-1911
www.fluvannacounty.org

MEMORANDUM

Date: August 1, 2022
From: Jason Overstreet
To: Douglas Miles
Subject: APO Memo Complete

Please be advised the attached letter went out to the attached list of Adjacent Property Owners for the August 17, 2022 Board of Supervisors meeting.



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

BOS0222-08-17 p.22/166
132 Main Street
P.O. Box 540
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PUBLIC HEARING NOTICE

August 1, 2022

ZMP 22:03 Wolfpack Properties LLC / Tax Map 9 Section A Parcels 11, 11B, 11C, 11D, 11F & 11G

This is to notify you that the Fluvanna County Board of Supervisors will hold a public hearing on:

Meeting: Board of Supervisors Public Hearing

Date: Wednesday, August 17th, 2022 at 7:00 pm

Location: Carysbrook Performing Arts Center
8880 James Madison Highway Fork Union, VA 23055

ZMP 22:03 Wolfpack Properties LLC - A request to conditionally rezone from A-1, General Agricultural to the B-1, General Business Zoning District of 35 +/- acres of Tax Maps 9 Section A Parcels 11, 11B, 11C, 11D, 11F and 11G. The subject properties are generally located along the south line of Lake Monticello Road (SR 618) and west of Glen Burnie Road, approximately two (2) miles east on Lake Monticello Road from its intersection with Thomas Jefferson Parkway (SR 53) and are in the Rivanna (Lake Monticello) Community Planning Area and Palmyra Election District.

Please be advised that you can attend the meeting in person, join the meeting via Zoom or by a phone call where you will have an opportunity to provide any Public comments. Instructions for participation in the Public Hearing will be available on the Fluvanna County website along with the Board of Supervisors Meeting Agenda and Staff Report.

You can contact the Fluvanna County Planning & Community Development Department, 8:00 am – 5:00 pm, Monday through Friday in the County Administration Building at 132 Main Street Palmyra, VA 22963. If you have any questions regarding this application or this scheduled public hearing, then please contact me at dmiles@fluvannacounty.org or call me at 434.591.1910 with questions. We have provided the applicant's proposed rezoning concept plan for your review.

Sincerely,

Douglas Miles

Douglas Miles, AICP, CZA
Community Development Director

ADJACENT PROPERTY OWNERS ZMP 22:03

TAX MAP	NAME	ADDRESS	CITY/STATE/ZIP
9-A-9	WASHINGTON STREET PALMYRA LLC	1023 WASHINGTON ST APT 1	HOBOKEN, NJ 07030
9-A-10	SUSAN RINGWOOD	2224 LAKE MONTICELLO RD	PALMYRA, VA 22963
9-A-11E	GREGORY W & MARIA ANNE ROBERTS	2448 LAKE MONTICELLO RD	PALMYRA, VA 22963
9-A-11A	TIMOTHY J HOFFMAN	477 PERKINS RD	KENTS STORE, VA 23084
18A-2-396	PAUL A & JUANITA S LOWE	7 CHESTNUT CT	PALMYRA, VA 22963
18A-2-29	ROGER WAYNE & ANNETTE D NORTON	21 GLEN BURNIE RD	PALMYRA, VA 22963
18A-2-397	BONNIE WATSON MACKEY	5 CHESTNUT CT	PALMYRA, VA 22963
18A-2-28	CHRISTIAN DWIGHT MANLY OWNES	19 GLEN BURNIE RD	PALMYRA, VA 22963
18A-2-398	WILLIAM W & BONNIE L OPYOKE	3 CHESTNUT CT	PALMYRA, VA 22963
18A-2-27	REBECCA A SORG	17 GLEN BURNIE RD	PALMYRA, VA 22963
18A-2-399	JOHN D CHILSON	1 CHESTNUT CT	PALMYRA, VA 22963
18A-2-26	VICKIE VASILIKI POND	15 GLEN BURNIE RD	PALMYRA, VA 22963
18A-2-400	JOANNE T KLEIN	753 JEFFERSON DR	PALMYRA, VA 22963
18A-2-25	WILLIAM W JR & CATHERINE H WRIGHT	13 GLEN BURNIE RD	PALMYRA, VA 22963
18A-2-401	IMELDA B HUERTA	755 JEFFERSON DR	PALMYRA, VA 22963
18A-2-24	BARRY E & BROOKE J HEATH	11 GLEN BURNIE RD	PALMYRA, VA 22963
18A-2-23	VIVIAN KELLOGG	9 GLEN BURNIE RD	PALMYRA, VA 22963
18A-2-402	PATRICK A & ELSY Y HEALY	10249 BATTLEFIELD DR	MANASSAS, VA 20110
18A-2-22	WEBBER LAND TRUST C/O MICHELE JORDAN, TRUSTEE	3445 SEMINOLE TRL # 291	CHARLOTTESVILLE, VA 22911
18A-2-403	KENNETH FRIEND	759 JEFFERSON DR	PALMYRA, VA 22963
18A-2-21	BARBARA E VORNDICK	5 GLEN BURNIE RD	PALMYRA, VA 22963
18A-2-20	HOLLY CASON DEGRAFF	3 GLEN BURNIE RD	PALMYRA, VA 22963
18A-2-404	FREEMAN S & EILEEN J WATKINS	761 JEFFERSON DR	PALMYRA, VA 22963
18A-2-19	SIVYA T KAMBALE & MASIKA KABUYAYA	801 JEFFERSON DR	PALMYRA, VA 22963
18A-2-405	SAMUEL D KIDD	763 JEFFERSON DR	PALMYRA, VA 22963
18A-2-406	VALARIE JOHNSON	765 JEFFERSON DR	PALMYRA, VA 22963

[illegible]

- **ARTICLE 9. - BUSINESS, GENERAL, DISTRICT B-1 August 2022**

- **Sec. 22-9-1. - Statement of intent.**

Generally this district covers those areas of the County as defined by the Comprehensive Plan that are intended for the conduct of general business to which the public requires direct and frequent access, but which is not characterized either by constant heavy trucking other than stocking and delivery of light retail goods, or by any nuisance factors other than occasioned by incidental light and noise of congregation of people and passenger vehicles.

- **Sec. 22-9-2. - Use regulations.**

In Business, General, District B-1, structures to be erected or land to be used shall be for one (1) or more of the following uses, together with ordinary and necessary accessory uses, and no others.

(Ord. 12-16-15)

- **Sec. 22-9-2.1. - Uses permitted by right.**

The following uses shall be permitted by right:

Civic Uses

Amusements, public

Cultural services

Public recreation assembly

Public uses

Religious assembly

Sheltered care facilities

Commercial Uses

Assisted living facilities

Auction houses

Automobile repair service establishments

~~Automobile sales~~

Bakeries

Bed and breakfasts

Boarding houses

Butcher shops

Car washes

Cemeteries, commercial

Communications service

Corporate offices

Daycare centers

Financial institutions

Flea markets

Funeral homes

Garden center

Gas stations

Greenhouses, commercial

Grocery stores

Guidance services

Hospitals

Hotels

Indoor entertainment

Indoor recreation facilities

Laundries

Marinas, commercial

Medical clinics

Nursing homes

Offices

Parking facilities

Personal improvement services

Personal service establishments

Pharmacies

Professional schools

Recreational vehicle sales

Restaurants, fast food

Restaurants, general

Restaurants, small

Retail stores, general

Retail stores, large-scale

Retail stores, neighborhood convenience

Retail stores, specialty

~~Self-storage facilities~~

~~Shooting ranges, indoor~~

Studios, fine arts

Taxidermists

Vending carts

Veterinary offices

Miscellaneous Uses

Accessory uses

Utilities, minor

(Ord. 3-15-06; Ord. 11-20-07; Ord. 9-17-08; Ord. 10-21-09; Ord. 11-3-10; Ord. 11-20-12)

- **Sec. 22-9-2.2. - Uses permitted by special use permit only.**

The following uses shall be permitted by special use permit only:

Civic Uses

Educational facilities

Public assembly

Commercial Uses

Amusements, commercial

Dance halls

~~Entertainment establishments, adult~~

Halfway houses

Kennels, commercial

Landscaping materials supply

Laundromats

Lodges

Manufactured home sales

Outdoor entertainment

Outdoor recreation facilities

~~Retail stores, adult~~

~~Transportation terminals~~

Industrial Uses

Contractor's storage yards

~~Lumberyards~~

Machine shops

~~Railroad facilities~~

Research laboratories

Miscellaneous Uses

Outdoor gatherings

Telecommunication facilities

Utilities, major

Residential Uses

Dormitories

(Ord. 3-15-06; Ord. 11-20-07; Ord. 9-17-08; Ord. 10-21-09; Ord. 11-3-10; Ord. 11-20-12)

- **Sec. 22-9-3. - Requirements for permitted uses.**

All buildings, structures and uses in the B-1 District shall be subject to the provisions of Article 23: Site Development Plans of this Code.

(Ord. 12-16-15)

- **Sec. 22-9-4. - Area regulations.**

None, except for permitted uses utilizing individual sewerage disposal system. The required area for any such use shall be approved by the administrator who may consult with the health official.

- **Sec. 22-9-5. - Setback regulations.**

(A) Buildings shall be located not less than fifty feet (50') from any public right-of-way. This shall be known as the "setback line." All parking lots shall be located not less than twenty-five feet (25') from any public right-of-way.

(B) A variation to the setback regulations may be granted by the Planning Commission for projects in a designated growth area that meet new urban/neo-traditional planning principles, and further the objectives and goals set forth in the comprehensive plan. Appeals must be received in writing within thirty (30) days of the variation decision, and will then be forwarded to the Board of Supervisors for a final determination.

(Ord. 5-4-11)

- **Sec. 22-9-6. - Yard regulations.**

The minimum yard requirements for permitted uses adjoining or adjacent to a residential or agricultural district shall be fifty feet (50'). All parking lots and accessory uses shall be located not less than twenty-five feet (25') from any residential or agricultural district.

- **Sec. 22-9-7. - Height regulations.**

Buildings may be erected up to forty-five feet (45') in height from grade, except that:

(A) A public or semi-public building such as a school, place of worship, library, hotel and general hospital may be erected to a height of sixty feet (60') from grade provided that required front, side and rear yard each shall be increased one foot (1') for each foot in height over forty-five feet (45').

(B) Spires, belfries, cupolas, monuments, water towers, chimneys, flues, flagpoles, television antennae and radio aerals sixty feet (60') limit. Parapet walls may be up to four feet (4') above the height of the building on which the walls rest.

- **Sec. 22-9-8. - Off-street parking.**

Off-street parking shall conform with Article 26: Off-Street Parking and Loading Spaces of this chapter.

- **Sec. 22-9-9. - Sign regulations.**

Sign regulations shall conform to Article 15 of this chapter.

- **Sec. 22-9-10. - Sidewalks.**

Sidewalks that comply with the most recent VDOT specifications shall be required on both sides of all roadways, public and private.

(Ord. 5-4-11)

**FLUVANNA COUNTY BOARD OF SUPERVISORS
AGENDA ITEM STAFF REPORT**

TAB B

MEETING DATE:	August 17, 2022				
AGENDA TITLE:	ZTA 22:01 Commercial Uses				
MOTION:	<p>I move the Board of Supervisors adopt Ordinance ZTA 22:01 an Ordinance to amend Chapter 22 - Zoning of the Fluvanna County Code, pursuant to Fluvanna County Code Section 22-20-1(c), to:</p> <ul style="list-style-type: none"> - In Section 22-22-1, <ul style="list-style-type: none"> o Amend the definition of Agricultural Enterprise, with the correction noted in the staff report, and o Add definitions of Brewpub, Data Center, Emergency Center, Event Facility, Machinery Sales and Service, Microbrewery, and Vehicle Impound Facility; - In A-1 Zoning, Section 22-4-2.2, add Event Facilities, Machinery Sales and Service, Microbreweries, and Vehicle Impound Facilities as commercial uses permitted by special use permit; - In R-3 Zoning, Section 22-7-9.1, add Brewpub as commercial uses permitted by Right; - In R-3 Zoning, Section 22-7-9.2, add Microbreweries as commercial uses permitted by special use permit; - In B-1 Zoning, Section 22-9-2.1, add Brewpub, Emergency Centers, Event Facilities, Machinery Sales and Service, and Microbreweries as commercial uses permitted by right; - In B-1 Zoning, Section 22-9-2.2, add Vehicle Impound Facilities as commercial uses permitted by special use permit; - In B-C Zoning, Section 22-10-3, add Brewpub as commercial uses permitted by right; - In B-C Zoning, Section 22-10-4, add Microbreweries as commercial uses permitted by special use permit; - In I-1 Zoning, Section 22-11-2.1, add Machinery Sales and Service and Vehicle Impound Facilities as commercial uses permitted by right; and add Data Centers as Industrial uses permitted by right; - In I-2 Zoning, Section 22-12-2.1, add Machinery Sales and Service and Vehicle Impound Facilities as commercial uses permitted by right; and add Data Centers as Industrial uses permitted by right. 				
STRATEGIC INITIATIVE?	Yes	No	If yes, list initiative(s):		N/A
		X			
AGENDA CATEGORY:	Public Hearing	Action Matter	Presentation	Consent Agenda	Other
	X				
STAFF CONTACT(S):	Douglas Miles, Community Development Director				
PRESENTER(S):	Douglas Miles, Community Development Director				

RECOMMENDATION:	Approve				
TIMING:	Normal				
DISCUSSION:	<p>Adoption of the proposed Zoning Text Amendments, with the correction of the following clerical error in the definition of Agricultural Enterprise in the attached ordinance (correction is shaded):</p> <p><u>Agricultural Enterprise</u>: Agricultural related use that provides an agricultural service or produces goods from agricultural resources. These include processes that are a direct outgrowth, yet more intensive, of the products derived through agriculture, as defined. Related uses include sawmill, These uses include farm brewery, cidery, distillery, meadery, winery and other similar facilities. (existing Fluvanna County definition)</p>				
FISCAL IMPACT:	Additional commercial tax revenues would be generated by the new commercial land uses that would locate in commercial business and industrial park locations.				
POLICY IMPACT:	N/A				
LEGISLATIVE HISTORY:	The Planning Commission at its July 12, 2022 Regular Meeting recommended Approval of ZTA 22:01 (5-0) Vice-Chair Murray-Key motioned and Mr. Zimmer seconded. AYES: Bibb, Zimmer, Lagomarsino, Murray-Key and Goad.				
ENCLOSURE:	<ul style="list-style-type: none"> Board of Supervisors Ordinance Proposed Amendments to County Code Chapter 22 – Zoning 				
REVIEWS COMPLETED:	Legal	Finance	Purchasing	HR	Other
	X				



BOARD OF SUPERVISORS

County of Fluvanna
Palmyra, Virginia

ORDINANCE ZTA 22:01

An Ordinance to amend Chapter 22 Zoning of the Fluvanna County Code, and pursuant to Fluvanna County Code Section 22-20-1(c) and by the Addition of Definitions and the Amendment of a Definition known as Agricultural Enterprises under 22-22-1 Definitions; Uses permitted by Special Use Permit in A-1 Zoning Under 22-4-2.2 to permit an Event Facility, Machinery Sales and Service, Microbrewery and Vehicle Impound Facility; Uses permitted by Right in R-3 Zoning Under 22-7-9.1 to permit a Brewpub; Uses permitted by Special Use Permit in R-3 Zoning Under 22-7-9.2 to permit a Microbrewery; Uses permitted by Right in B-1 Zoning Under 22-9-2.1 to permit a Brewpub, Emergency Center, Event Facility, Machinery Sales and Service, and Microbrewery; Uses by Special Use Permit in B-1 Zoning Under 22-9-2.2 to Permit a Vehicle Impound Facility; Uses permitted by Right in B-C Zoning Under 22-10-3 to Permit a Brewpub; Uses permitted by Special Use Permit in B-C Zoning Under 22-10-4 to permit a Microbrewery; Uses permitted by Right in I-1 Zoning under 22-11-2.1 to Permit a Data Center, Machinery Sales and Service and Vehicle Impound Facility; Uses permitted by Right in I-2 Zoning Under 22-12-2.1 to Permit a Data Center, Machinery Sales and Service and Vehicle Impound Facility.

BE IT ORDAINED BY THE FLUVANNA BOARD OF SUPERVISORS, pursuant to Virginia Code Section 15.2-2285, that the Fluvanna County Code be, and it is hereby, amended, in Sections 22-4-2.2, 22-7-9.1, 22-7-9.2, 22-9-2.1, 22-9-2.2, 22-10-3, 22-10-4, 22-11-2.1, 22-12-2.1 and Section 22-22-1, as follows:

Sec. 22-4-2.2 (A-1) Uses permitted by special use permit only.

Commercial Uses

Event facilities
Machinery sales and service
Microbreweries
Vehicle impound facilities

Sec. 22-7-9.1 (R-3) Uses permitted by right.

Commercial Uses

Brewpub

Sec. 22-7-9.2 (R-3) Uses permitted by special use permit.

Commercial Uses

Microbreweries

Sec. 22-9-2.1 (B-1) Uses permitted by right.

Commercial Uses

Brewpub
Emergency centers
Event facilities
Machinery sales and service
Microbreweries

Sec. 22-9-2.2 (B-1) Uses permitted by special use permit only.

Commercial Uses

Vehicle impound facilities

Sec. 22-10-3 (B-C) Uses permitted by right.*Commercial Uses*

Brewpub

Sec. 22-10-4 (B-C) Uses permitted by special use permit only.*Commercial Uses*

Microbreweries

Sec. 22-11-2.1 (I-1) Uses permitted by right.*Commercial Uses*

Machinery sales and service

Vehicle impound facilities

Industrial Uses

Data centers

Sec. 22-12-2.1 (I-2) Uses permitted by right.*Commercial Uses*

Machinery sales and service

Vehicle impound facilities

Industrial Uses

Data centers

Sec. 22-22-1 Definitions:

Agricultural Enterprise: Agricultural related use that provides an agricultural service or produces goods from agricultural resources. These include processes that are a direct outgrowth, yet more intensive, of the products derived through agriculture, as defined. Related uses include sawmill These uses include **farm brewery, cidery, distillery, meadery**, winery and other similar facilities. (existing Fluvanna County definition)

Brewpub: A restaurant that prepares, as an accessory use, handcrafted natural beer intended for the consumption on the premises.

Data center: A facility used primarily for management, processing, storage and transmission of facts and information in digital form, which houses computer and network equipment, servers, systems and other associated components related to digital data operations. The facility may also include accessory uses like air handlers, power generators, water-cooling and storage facilities, utility substations, and other associated infrastructure to support its operations.

Emergency center: A facility that offers the same level of service offered at a hospital emergency room that must be staffed 24 hours a day, 365 days a year, including weekends, holidays, and during inclement weather. An emergency center can accept ambulance transports and have medical flight capabilities with helicopter landing and take-off areas as approved helipads and/or heliport areas.

Event facility: A place of public assembly, used primarily as a facility for hosting functions including, but not limited to, weddings, receptions, banquets, anniversaries, meetings or conferences. The event facility may be located in a building or tent, be in an uncovered, outdoor gathering space of less than 200 people or a combination thereof. An event facility is a place that charges a fee or that requires compensation to use the space or charges an entry fee or other fee for the uses related to the facility.

Facilities exclusively used by membership groups such as civic or service clubs or fraternal organizations are not included in the Event facility definition – see Lodge definition.

Lodge: A facility, owned or operated by a corporation, association, person or persons, for social, educational or recreational purposes, to which membership is required for participation and not primarily operated for profit nor to render a service that is customarily carried on as a business. A lodge does not include facilities for members to reside. (existing Fluvanna County definition for reference not to be amended in this ZTA request)

Machinery sales and service: shall mean the sale and service of machinery such as, but not necessarily limited to, farm tractors, and other similar implements such as backhoes, bulldozers, and forklifts and together with attachments and implements of such machinery such as combines, harvesters, mowers, and buckets, etc.

Microbrewery: A facility for the production and packaging of malt beverages with alcohol content as defined by federal or Virginia law, and distribution, retail, wholesale, or both, for consumption on or off premises. Permitted accessory uses may include an on-site retail sales establishment and a tasting room. Microbreweries are licensed by the Virginia Department of Alcohol Beverage Control and shall operate in accordance with any requirements by the Code of Virginia or any other applicable laws.

Vehicle impound facility: A facility for the temporary, screened storage of operable or inoperable vehicles to be claimed by their titleholders or agents; or those vehicles that are awaiting insurance adjustments or claims within 30 days or less for insurance purposes.

THE FOREGOING ORDINANCE WAS DULY AND REGULARLY ADOPTED by the Fluvanna County Board of Supervisors at a meeting of the Board held on the 17th day of August 2022, by the following vote:

SUPERVISOR	AYE	NAY	ABSTAIN	ABSENT	MOTION	SECOND
Mozell H. Booker, Fork Union District						
Patricia B. Eager, Palmyra District						
Anthony P. O'Brien, Rivanna District						
John M. Sheridan, Columbia District						
Chris Fairchild, Cunningham District						

Adopted this 17th Day of August 2022
by the Fluvanna County Board of Supervisors

ATTEST:

John M. Sheridan, Chairman
Fluvanna County Board of Supervisors

Proposed Amendments to County Code Chapter 22 – Zoning (Compiled Informational Exhibit)

- Includes only by-right and special use permit sections with proposed changes.
- Changes to permitted uses are included in *red italics*.

Agricultural, General District A-1

Sec. 22-4-2.2. - Uses permitted by special use permit only.

The following uses shall be permitted by special use permit only:

Agricultural Uses

Agricultural enterprise
Agricultural sales, wholesale
Livestock feed lots, commercial
Livestock sales yards, commercial

Civic Uses

Amusements, public
Correctional facilities
Cultural services
Educational facilities
Public assembly
Public recreation assembly
Religious assembly
Sheltered care facilities

Commercial Uses

Adult retirement communities
Amusements, commercial
Assisted living facilities
Automobile repair service establishments
Bed and breakfasts
Boarding houses
Butcher shops

Campgrounds

Camps

Car washes

Cemeteries, commercial

Communications service

Dance halls

Daycare centers

Event facilities

Flea markets

Funeral homes

Garden center

Gas stations

Greenhouses, commercial

Hotels

Kennels, commercial

Landscaping materials supply

Lodges

Machinery Sales and Service

Medical clinics

Microbreweries

Outdoor entertainment

Outdoor recreation facilities

Restaurants, small

Retail stores, neighborhood convenience

Retail stores, specialty

Shooting ranges, indoor

Shooting ranges, outdoor

Small home industries

Studios, fine arts

Taxidermists

Vehicle impound facilities

Veterinary offices

Industrial Uses

Railroad facilities

Resource extraction

Solid waste collection facilities

Miscellaneous Uses

Aviation facilities

Minor scale solar generation facility

Outdoor gatherings

Telecommunication facilities

Utilities, major

Utility scale solar generation facility

Residential Uses

Dormitories

(Ord. 9-17-08; Ord. 12-17-08; Ord. 10-21-09; Ord. 7-21-10; Ord. 11-3-10; Ord. 11-20-12)

Residential, Planned Community, District R-3

Sec. 22-7-9.1. - Uses permitted by right.

The following uses shall be permitted by right:

Agricultural Uses

Conservation areas

Civic Uses

Public parks and recreational areas

Public uses

Commercial Uses

Bakeries

Brewpub

Butcher shops

Financial institutions

Home occupations

Medical clinics

Offices

Personal improvement services

Personal service establishments

Pharmacies

Restaurants, general

Restaurants, small

Retail stores, general

Retail stores, neighborhood convenience

Retail stores, specialty

Studios, fine arts

Miscellaneous Uses

Accessory uses

Greenhouses, non-commercial

Kennels, private

Marinas, private non-commercial

Small scale solar generation facility

Utilities, minor

Residential Uses

Dwellings, accessory

Dwellings, multi-family

Dwellings, single-family attached

Dwellings, single-family detached

Dwellings, townhouse

Dwellings, two-family

Group homes

(Ord. 10-21-09; Ord. 11-3-10)

Residential, Planned Community, District R-3

Sec. 22-7-9.2. - Uses permitted by special use permit only.

The following uses shall be permitted by special use permit only:

Agricultural Uses

Equestrian facilities

Civic Uses

Educational facilities

Public assembly

Public recreation assembly

Religious assembly

Commercial Uses

Adult retirement communities

Assisted living facilities

Bed and breakfasts

Car washes

Daycare centers

Family daycare homes

Gas stations

Grocery stores

Hospitals

Hotels

Laundromats

Lodges

Microbreweries

Nursing homes

Outdoor recreation facilities

Restaurants, fast food

Self-storage facilities

Taxidermists

Veterinary offices

Miscellaneous Uses

Telecommunication facilities

Utilities, major

(Ord. 10-21-09; Ord. 11-3-10)

Business, General, District B-1

Sec. 22-9-2.1. - Uses permitted by right.

The following uses shall be permitted by right:

Civic Uses

Amusements, public

Cultural services

Public recreation assembly

Public uses

Religious assembly

Sheltered care facilities

Commercial Uses

Assisted living facilities

Auction houses

Automobile repair service establishments

Automobile sales

Bakeries

Bed and breakfasts

Boarding houses

Brewpub

Butcher shops

Car washes

Cemeteries, commercial

Communications service

Corporate offices

Daycare centers

Emergency centers

Event facilities

Financial institutions

Flea markets

Funeral homes

Garden center

Gas stations

Greenhouses, commercial

Grocery stores

Guidance services

Hospitals

Hotels

Indoor entertainment

Indoor recreation facilities

Laundries

Machinery sales and service

Marinas, commercial

Medical clinics

Microbreweries

Nursing homes

Offices

Parking facilities

Personal improvement services

Personal service establishments

Pharmacies

Professional schools

Recreational vehicle sales

Restaurants, fast food

Restaurants, general

Restaurants, small

Retail stores, general

Retail stores, large-scale

Retail stores, neighborhood convenience

Retail stores, specialty

Self-storage facilities

Shooting ranges, indoor

Studios, fine arts

Taxidermists

Vending carts

Veterinary offices

Miscellaneous Uses

Accessory uses

Small scale solar generation facility

Utilities, minor

(Ord. 3-15-06; Ord. 11-20-07; Ord. 9-17-08; Ord. 10-21-09; Ord. 11-3-10; Ord. 11-20-12)

Business, General, District B-1

Sec. 22-9-2.2. - Uses permitted by special use permit only.

The following uses shall be permitted by special use permit only:

Civic Uses

Educational facilities

Public assembly

Commercial Uses

Amusements, commercial

Dance halls

Entertainment establishments, adult

Halfway houses

Kennels, commercial

Landscaping materials supply

Laundromats

Lodges

Manufactured home sales

Outdoor entertainment

Outdoor recreation facilities

Retail stores, adult

Transportation terminals

Vehicle impound facilities

Industrial Uses

Contractor's storage yards

Lumberyards

Machine shops

Railroad facilities

Research laboratories

Miscellaneous Uses

Outdoor gatherings

Small scale solar generation facility

Telecommunication facilities

Utilities, major

Utility scale solar generation facility

Residential Uses

Dormitories

(Ord. 3-15-06; Ord. 11-20-07; Ord. 9-17-08; Ord. 10-21-09; Ord. 11-3-10; Ord. 11-20-12)

Business, Convenience, District B-C

Sec. 22-10-3. - Uses permitted by right.

The following uses shall be permitted by right:

Civic Uses

Amusements, public

Cultural services

Public uses

Commercial Uses

Bakeries

Bed and breakfasts

Brewpub

Butcher shops

Daycare centers

Financial institutions

Funeral homes

Garden center

Gas stations

Greenhouses, commercial

Grocery stores

Medical clinics

Offices

Parking facilities

Personal service establishments

Pharmacies

Restaurants, fast food

Restaurants, general

Restaurants, small

Retail stores, general

Retail stores, neighborhood convenience

Retail stores, specialty

Studios, fine arts

Taxidermists

Vending carts

Miscellaneous Uses

Accessory uses

Small scale solar generation facility

Utilities, minor

(Ord. 9-17-08; Ord. 10-21-09; Ord. 11-3-10; Ord. 11-20-12)

Business, Convenience, District B-C

Sec. 22-10-4. - Uses permitted by special use permit only.

The following uses shall be permitted by special use permit only:

Civic Uses

Educational facilities

Religious assembly

Sheltered care facilities

Commercial Uses

Amusements, commercial

Auction houses

Automobile repair service establishments

Car washes

Communications service

Dance halls

Guidance services

Hotels

Kennels, commercial

Landscaping materials supply

Laundromats

Laundries

Lodges

Microbreweries

Personal improvement services

Professional schools

Self-storage facilities

Veterinary offices

Miscellaneous Uses

Outdoor gatherings

Small scale solar generation facility

Telecommunication facilities

Utilities, major

Utility scale solar generation facility

Residential Uses

Dormitories

(Ord. 9-17-08; Ord. 10-21-09; Ord. 11-3-10; Ord. 11-20-12)

Industrial, Limited, District I-1

Sec. 22-11-2.1. - Uses permitted by right.

The following uses shall be permitted by right:

Civic Uses

Public uses

Commercial Uses

Automobile repair service establishments

Automobile sales

Car washes

Communications service

Corporate offices

Financial institutions

Flea markets

Gas stations

Landscaping materials supply

Laundries

Machinery sales and service

Medical clinics

Offices

Parking facilities

Professional schools

Recreational vehicle sales

Retail stores, general

Retail stores, large-scale

Retail stores, neighborhood convenience

Retail stores, specialty

Self-storage facilities

Shooting ranges, indoor

Transportation terminals

Vehicle impound facilities

Vending carts

Veterinary offices

Industrial Uses

Contractor's storage yards

Data centers

Lumberyards

Machine shops

Manufacturing, light

Railroad facilities

Research laboratories

Sawmills, temporary

Solid waste collection facilities

Upholstery shops

Wholesale warehouses

Miscellaneous Uses

Accessory uses

Small scale solar generation facility

Utilities, minor

Woodstorage, temporary

(Ord. 9-17-08; Ord. 10-21-09; Ord. 11-3-10; Ord. 11-20-12)

Industrial, General, District I-2

Sec. 22-12-2.1. - Uses permitted by right.

The following uses shall be permitted by right:

Civic Uses

Public uses

Commercial Uses

Corporate offices

Machinery sales and service

Transportation terminals

Vehicle impound facilities

Industrial Uses

Contractor's storage yards

Data centers

Lumberyards

Machine shops

Manufacturing, light

Manufacturing, medium

Railroad facilities

Research laboratories

Sawmills, permanent

Sawmills, temporary

Solid waste collection facilities

Truck terminals

Upholstery shops

Wholesale warehouses

Miscellaneous Uses

Accessory uses

Small scale solar generation facility

Utilities, major

Utilities, minor

Woodstorage, temporary

(Ord. 9-17-08; Ord. 10-21-09; Ord. 11-3-10)

**FLUVANNA COUNTY BOARD OF SUPERVISORS
AGENDA ITEM STAFF REPORT**

TAB C

MEETING DATE:	August 17, 2022				
AGENDA TITLE:	Third Amendment to Structure Lease Agreement with New Cingular Wireless PCS, LLC				
MOTION(s):	I move the Board of Supervisors approve the “Third Amendment to Structure Lease Agreement” of County property, with New Cingular Wireless PCS, LLC for the purposes of allowing AT&T to install a generator and lease additional ground space therefore as described in the amendment, and further authorize the County Administrator to execute the agreement subject to approval as to form by the County Attorney.				
TIED TO STRATEGIC INITIATIVES?	Yes	No	If yes, list initiative(s):		
		X			
AGENDA CATEGORY:	Public Hearing	Action Matter	Presentation	Consent Agenda	Other
	XX				
STAFF CONTACT(S):	Eric Dahl, County Administrator				
PRESENTER(S):	Eric Dahl, County Administrator				
RECOMMENDATION:	Approve				
TIMING:	Normal				
DISCUSSION:	Tenant (New Cingular Wireless PCS, LLC, desires to enhance its wireless communication facility by adding a generator which requires that Tenant lease additional ground space from the Landlord (County of Fluvanna) under the Lease and install the generator and related equipment as detailed in this Third Amendment.				
FISCAL IMPACT:	Additional \$500/month in rental income.				
POLICY IMPACT:	N/A				
LEGISLATIVE HISTORY:	N/A				
ENCLOSURES:	<ul style="list-style-type: none"> • Third Amendment to Structure Lease Agreement • Site Plan • Generator Plan 				
REVIEWS COMPLETED:	Legal	Finance	Purchasing	HR	Other
	XX				

AT&T Cell Site Information:
 Market: Virginia – West Virginia
 Cell Site Name/Number: Palmyra/CV366
 Fixed Asset Number: 10103205

THIRD AMENDMENT TO STRUCTURE LEASE AGREEMENT

THIS THIRD AMENDMENT TO STRUCTURE LEASE AGREEMENT (“**Third Amendment**”), is made this ____ day of _____, 2022 (hereinafter “**Effective Date**”) by and between the Board of Supervisors of Fluvanna County, Virginia (also known as County of Fluvanna), a political subdivision of the Commonwealth of Virginia, with a mailing address of 132 Main Street, Palmyra, VA 22963 (hereinafter referred to as “**Owner**”), and New Cingular Wireless PCS, LLC, a Delaware limited liability company authorized to conduct business in Virginia having a mailing address 1025 Lenox Park Boulevard NE, 3rd Floor, Atlanta, GA 30319 (hereinafter referred to as “**Tenant**”). The “Effective Date” of this Third Amendment is the date the Fluvanna County Board of Supervisors approves this Third Amendment at a meeting of the Fluvanna County Board of Supervisors.

WHEREAS, Owner and Tenant entered into that Structure Lease Agreement dated October 20, 2009 (hereinafter referred to as the “**Original Lease**”), renamed to be “Deed of Lease Structure Agreement” by that Second Amendment (as defined below), whereby Owner authorized the Tenant to construct a Monopole, remove that Self Support Tower and relocate certain existing equipment on the Property as more specifically defined in the Original Lease;

WHEREAS, Owner and Tenant previously amended the Original Lease pursuant to (i) that First Amendment to Structure Lease Agreement dated August 15th, 2017 (with all exhibits thereto, the “**First Amendment**”) to modify and improve the Monopole, to end the rent abatement, to extend the term of the Original Lease, and to amend the Original Lease as agreed to therein, each as more specifically described in the First Amendment, and (ii) that Second Amendment to Structure Lease Agreement dated July 3rd, 2018 to amend to allow for certain Tenant enhancements to its wireless facilities as more specifically described in the Second Amendment, (with all exhibits thereto, the “**Second Amendment**”);

WHEREAS, the Original Lease as amended by that First Amendment and Second Amendment is referred to herein as the “**Lease**”;

WHEREAS, Owner leases space including ground space at the Property and on the Monopole to Tenant under the Lease;

WHEREAS, Owner previously entered into that Tower & Ground Space Lease with USCOC dated November 26, 2012 (the “USCOC Lease”) on a portion of the Monopole, such USCOC Lease being attached to the Second Amendment as Exhibit 1 and incorporated herein as a material part of this Third Amendment;

WHEREAS, Tenant desires to enhance its wireless communication facility by adding a generator which requires that Tenant lease additional ground space from the Landlord under the Lease and install the generator and related equipment as detailed in this Third Amendment and the following documents: (i) that as-built sketch dated September 23, 2018 (the “Site Sketch”) which is attached hereto as **Exhibit 1** and incorporated herein as a material part hereof; and (ii) those plans entitled “Generator Project 30KW Generac Diesel Generator 200A Generac ATS” by General Dynamics dated April 5, 2022 (the “Plans”), which are attached hereto as **Exhibit 2** and incorporated herein as a material part hereof; and

WHEREAS, Owner and Tenant, in their mutual interest, wish to amend the Lease as set forth below accordingly.

NOW THEREFORE, in consideration of the foregoing and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Owner and Tenant agree as follows:

AT&T Cell Site Information:
 Market: Virginia – West Virginia
 Cell Site Name/Number: Palmyra/CV366
 Fixed Asset Number: 10103205

1. **Definitions and Recitations:** The foregoing recitations are incorporated into this agreement. All defined terms in the Lease shall have the same defined meaning when used in this Third Amendment unless the context requires otherwise.

2. **Additional Ground Space Lease:** The Tenant desires to lease certain additional ground space being described as: (i) exactly 4 feet by 10 feet in width for placement of a generator as described in the Plans with that additional ground space located and specifically identified on the Plans and on the Site Sketch as “Proposed 4’x10’ gen pad 3’ from fence”; and (ii) that additional space shown as “Proposed h-frame ext for new ATS” on the Site Sketch and as specifically shown on the Plans and only as detailed in the Plans on sheet E-3 (collectively (i) and (ii) are defined as the “Additional Ground Space”). As of the **Effective Date**, Landlord agrees to lease to the Tenant the Additional Ground Space at the Property identified in the Site Sketch as further specifically identified in this Third Amendment and in the Plans only for installation of the generator and related equipment as described in the Plans and this Third Amendment (the “Generator”) and Tenant agrees to lease from the Landlord that Additional Ground Space only for installation of its Generator as specifically described in this Third Amendment and as limited by the Plans and Site Plan. Beginning on the Effective Date, Tenant agrees to pay the Landlord for such Additional Ground Space an additional FIVE HUNDRED AND NO/100 DOLLARS (\$500.00) monthly (the “Additional Rent”) in Rent. Such Additional Rent shall be added to and paid with the Rent as defined in the Lease. Additional Rent for any partial month shall be prorated. The Initial Term of the Lease commenced on the Monopole Commencement Date being March 1, 2010, and the current Lease year ends on February 28, 2023. Hereafter, upon the anniversary of each Lease year during the Term including any Extension Terms the term “Rent” as used in the Lease includes that Additional Rent and the Rent will increase by 3% over the Rent (which includes that Additional Rent) paid in the prior Lease year as required under the Lease.

3. **Scope of Work:** Tenant agrees at its sole cost and expense to install the Generator on the Additional Ground Space only as specifically permitted under this Third Amendment and in strict accordance with the Plans and Site Sketch. Tenant shall obtain any and all Government Approvals related to the Generator at its sole cost and expense. Nothing herein shall be deemed a Government Approval by Fluvanna County, and all necessary Government Approvals, for example and without limitation, a building permit, shall be obtained if and as necessary. Tenant shall cause all work related to the Generator installation be completed: (i) in a good and workmanlike manner consistent with all applicable industry standards; (ii) so as to not interrupt any existing operations including those of the Owner, USCOC under that USCOC Lease, and any other user or tenant on the Property or Monopole, and further so as to provide continuous uninterrupted service to any customers or users of Owner, USCOC and any other tenant; (iii) in accordance with this Third Amendment; (iv) free of liens; (v) in compliance with all applicable laws, rules, ordinances, and regulations, federal, state, local or otherwise; and (vi) with prudence and due diligence. Tenant shall be solely responsible for removal and proper disposal at its sole cost and expense of any and all debris or other trash caused by or related to the Generator. Tenant shall provide written notification to Owner when the work on the Generator is complete.

4. **Premises:** Owner agrees to lease to the Tenant the Premises plus the Additional Ground Space for the Generator as described specifically in this Third Amendment only.

5. **USCOC Lease:** Tenant agrees that it shall not interfere with or cause any disturbance on the Property which would affect in any way those permitted uses of the Monopole for the current users or tenants of the Monopole, being USCOC of Virginia RSA #3, Inc. (“USCOC”) under the USCOC Lease and the Owner and acknowledges that any interference with USCOC, other user or tenant, or the Owner shall be a material breach of its Lease, provided such interference does not cease within twenty-four (24) hours of Tenant’s receipt of notice of such interference. Tenant acknowledges the USCOC Lease and agrees that its construction of the Tenant’s Improvements as well as the Premises as modified by the Tenant Improvements will not interfere with USCOC’s permitted use of the Property, Monopole or related structures, equipment or accessories or any

AT&T Cell Site Information:
 Market: Virginia – West Virginia
 Cell Site Name/Number: Palmyra/CV366
 Fixed Asset Number: 10103205

other use described in said USCOC Lease. Tenant shall indemnify, defend and hold harmless the Owner, its officers, board members, employees, agents and representatives from and against all allegations, claims, actions, suits, demands, damages, liabilities, obligations, losses, settlements, judgments, costs and expenses, including without limitation reasonable attorneys' fees, court costs and the fees of any experts, which may arise or relate to the Tenant Improvements or the construction thereof, including without limitation, any such claims of USCOC, provided such claims, actions, suits, demands, damages, liabilities, obligations, losses, settlements, judgments, costs and expenses do not arise as the result of the negligence or willful misconduct of the Owner.

6. **Notice.** Owner and Tenant agree that Tenant's notice address as set forth in Section 18 of the Original Lease and as amended in Section 8 of the First Amendment is hereby deleted and replaced with the following:

If to Tenant:

New Cingular Wireless PCS, LLC,
 c/o AT&T Network Real Estate Administration,
 Re: Cell Site Name: Palmyra (VA)
 Fixed Asset No: 10103205
 1025 Lenox Park Blvd NE
 3rd Floor
 Atlanta, GA 30319

With a required copy to:

Attn.: AT&T Legal Department,
 New Cingular Wireless PCS, LLC,
 Re: Cell Site Name: Palmyra (VA)
 Fixed Asset No: 10103205
 208 S. Akard Street
 Dallas, TX 75202-4206

7. **Other Terms and Conditions Remain.** In the event of any inconsistencies between the Lease and this Third Amendment, the terms of this Third Amendment shall control. Except as expressly set forth in this Third Amendment, the Lease is hereby ratified and confirmed by the parties and remains in full force and effect. Each reference in the Lease to itself shall be deemed also to refer to the Third Amendment.

IN WITNESS WHEREOF, the parties have caused their properly authorized representatives to execute and seal this Third Amendment on the dates set forth below.

TENANT

OWNER

NEW CINGULAR WIRELESS PCS, LLC,
 a Delaware limited liability company

COUNTY OF FLUVANNA, a political subdivision of
 the commonwealth of Virginia

By: _____ (SEAL)

By: _____ (SEAL)

Print Name: _____

Eric M. Dahl, County Administrator

Print Title: _____

Date: _____

Date: _____

AT&T Cell Site Information:
Market: Virginia – West Virginia
Cell Site Name/Number: Palmyra/CV366
Fixed Asset Number: 10103205

Approved as to form:

(SEAL)

Kristina M. Hofmann, Assistant Fluvanna County Attorney

AT&T Cell Site Information:
Market: Virginia – West Virginia
Cell Site Name/Number: Palmyra/CV366
Fixed Asset Number: 10103205

Exhibit 1

Site Sketch

**As Built Site Sketch
Dated September 23, 2018**

AT&T Cell Site Information:
Market: Virginia – West Virginia
Cell Site Name/Number: Palmyra/CV366
Fixed Asset Number: 10103205

Exhibit 2

PLANS

**Generator Project 30KW Generac Diesel Generator 200A Generac ATS
Dated April 5, 2022**

SYMBOLS AND MATERIALS

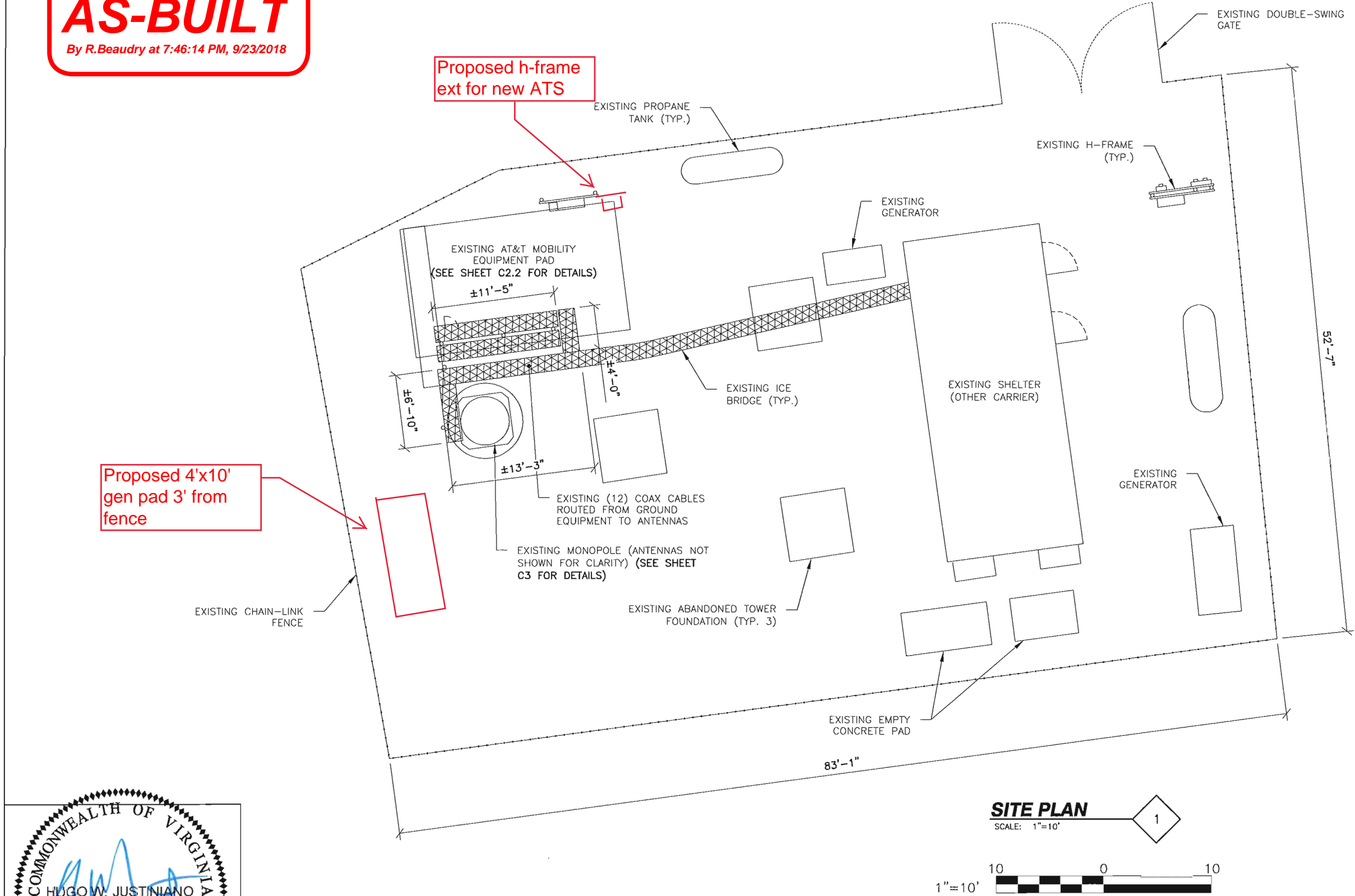
- DETAIL REFERENCE
- SECTIONS AND DETAILS
- CONCRETE
- EARTH
- GRAVEL/STONE

SITE LEGEND

- PROPERTY LINE
- FENCE LINE
- PDU POWER CABLE
- BIAS "T" CABLE
- PDU ALARM CABLE

AS-BUILT

By R.Beaudry at 7:46:14 PM, 9/23/2018



SITE PLAN

SCALE: 1"=10'



LTE 2C
SITE NO. CV366
PALMYRA
FA# 10103205
14591 JAMES MADISON HIGHWAY
PALMYRA, VA 22963

NO	DATE	REVISIONS	BY	CHK	APP'D
0	02/05/18	ISSUED FOR CONSTRUCTION	ED	MZ	-
A	1/19/18	ISSUED FOR REVIEW	ED	MZ	-

SITE PLAN

JOB #	DRAWING NUMBER	REV
10103205	C2.1	0



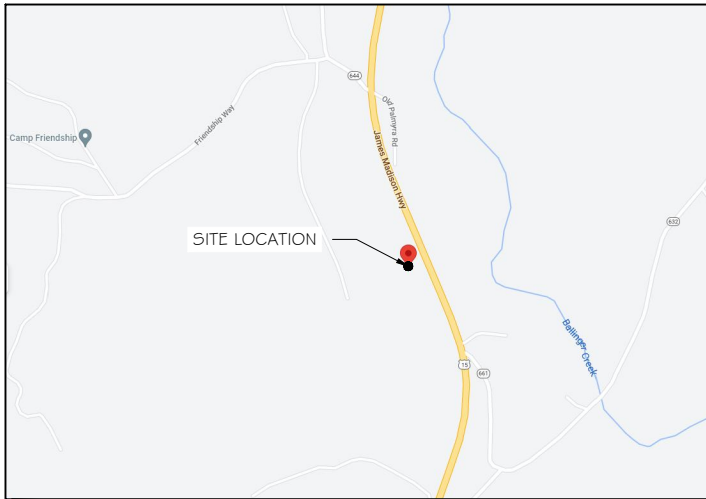
at&t Mobility

SITE NAME: PALMYRA
FA LOCATION CODE: 10103205

GENERATOR PROJECT
30KW GENERAC DIESEL GENERATOR
200A GENERAC ATS

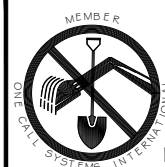
14591 JAMES MADISON HIGHWAY
PALMYRA, VA 22963

VICINITY MAP



SCOPE OF WORK

ADD STANDBY GENERATOR, ASSOCIATED CONCRETE PAD, AND UTILITY EQUIPMENT TO EXISTING AT&T EQUIPMENT AREA. THERE WILL BE NO CHANGE IN THE SIZE OR HEIGHT OF THE TOWER OR ANTENNAS.



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN VIRGINIA

MISS UTILITY OF VIRGINIA
811 OR 1-800-552-7001

MISS UTILITY LAW VIRGINIA UNDERGROUND UTILITY DAMAGE PREVENTION ACT REQUIRES MIN. 3 WORKING DAYS NOTICE BEFORE YOU EXCAVATE.

APPLICABLE BUILDING CODE & STANDARDS

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF THE FOLLOWING CODES AS ADOPTED BY THE GOVERNING LOCAL AUTHORITIES. NOTHING IN THESE PLANS ARE TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

1. INTERNATIONAL BUILDING CODE 2015
2. NATIONAL ELECTRIC CODE 2017
3. AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
4. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION
5. TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL TOWER AND ANTENNA SUPPORTING STRUCTURES
6. TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS

AERIAL VIEW OF SITE



PROJECT INFORMATION

PROJECT MANAGER:

TIM JAMES
MARKET LEAD
GENERAL DYNAMICS WIRELESS SERVICES
993 MANSELL ROAD, SUITE D
ROSWELL, GA 30076
EMAIL: Timothy.James@gdit.com

SITE DATA:

SITE NAME: PALMYRA
FA NUMBER: 10103205

PROPERTY OWNER:

BOARD OF SUPERVISORS OF FLUVANNA COUNTY
PO BOX 540
PALMYRA, VA 22963

ADDRESS:

14591 JAMES MADISON HIGHWAY
PALMYRA, VA 22963

COUNTY:

FLUVANNA

LAT.: 37.87500°
LONG.: -78.26194°

GROUND ELEVATION:

360 FT AMSL

ENGINEER:

RAMAKER & ASSOCIATES, INC.
855 COMMUNITY DRIVE
SAUK CITY, WI 53583
PH.: (608) 643-4100
FAX: (608) 643-7999
CONTACT: TYLER BEATTY
EMAIL: tbeatty@ramaker.com

APPLICANT INFORMATION:

AT&T MOBILITY
7150 STANDARD DR
HANOVER, MD 21076

DO NOT SCALE DRAWINGS:
CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

SHEET INDEX

GENERAL:

T-1 TITLE SHEET

NOTES:

N-1 GENERAL NOTES

SITE:

A-1 SITE PLAN
S-1 FOUNDATION DETAILS
S-1 H-FRAME DETAILS

ELECTRICAL & GROUNDING:

E-1 WIRING DETAILS
E-2 PANEL AND PENETRATION DETAILS
E-3 ATS, CONDUIT & GROUND ROD DETAILS
E-4 GENERAC GENERATOR SPECIFICATIONS
E-4.1 GENERAC GENERATOR SPECIFICATIONS
E-4.2 GENERAC GENERATOR SPECIFICATIONS
E-5 GENERAC ATS SPECIFICATIONS
E-5.1 GENERAC ATS SPECIFICATIONS

SIGNATURE BLOCK

AT&T MGR. _____ DATE _____

GENERAL DYNAMICS
CONSTRUCTION MGR. _____ DATE _____

SITE ACQUISITION _____ DATE _____

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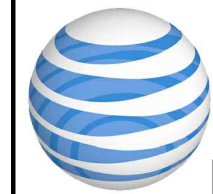


RAMAKER

employee-owned

(608) 643-4100 www.ramaker.com

PREPARED FOR:



at&t
Mobility

CONSULTANT:

GENERAL DYNAMICS
Information Technology, Inc.

GENERAL DYNAMICS
993 MANSELL ROAD, SUITE D
ROSWELL, GA 30076

Certification & Seal:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Virginia.



Signature: _____ Date: 4/05/2022

MARK	DATE	DESCRIPTION
ISSUE	FINAL	DATE ISSUED 04/05/2022

PROJECT TITLE:

PALMYRA
FA ID # 10103205

PROJECT INFORMATION:
14591 JAMES MADISON HIGHWAY
PALMYRA, VA 22963

SHEET TITLE:

TITLE SHEET

SCALE: NONE

PROJECT NUMBER	53450
SHEET NUMBER	T-1

SCOPE OF WORK DETAILS

GENERAL:

- NEW GENERAC DIESEL GENERATOR PROVIDED BY GENERAL DYNAMICS & INSTALLED BY GENERAL CONTRACTOR, SEE E-4.
- NEW 4'-0" X 10'-0" CONCRETE PAD PROVIDED & INSTALLED BY GENERAL CONTRACTOR (AS REQUIRED) SEE S-1
- NEW GENERAC AUTOMATIC TRANSFER SWITCH PROVIDED BY GENERAL DYNAMICS & INSTALLED BY CONTRACTOR (AS REQUIRED) SEE E-3 & E-5.
- CONTRACTOR TO VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL RESTORE & REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION TO ORIGINAL OR BETTER CONDITION

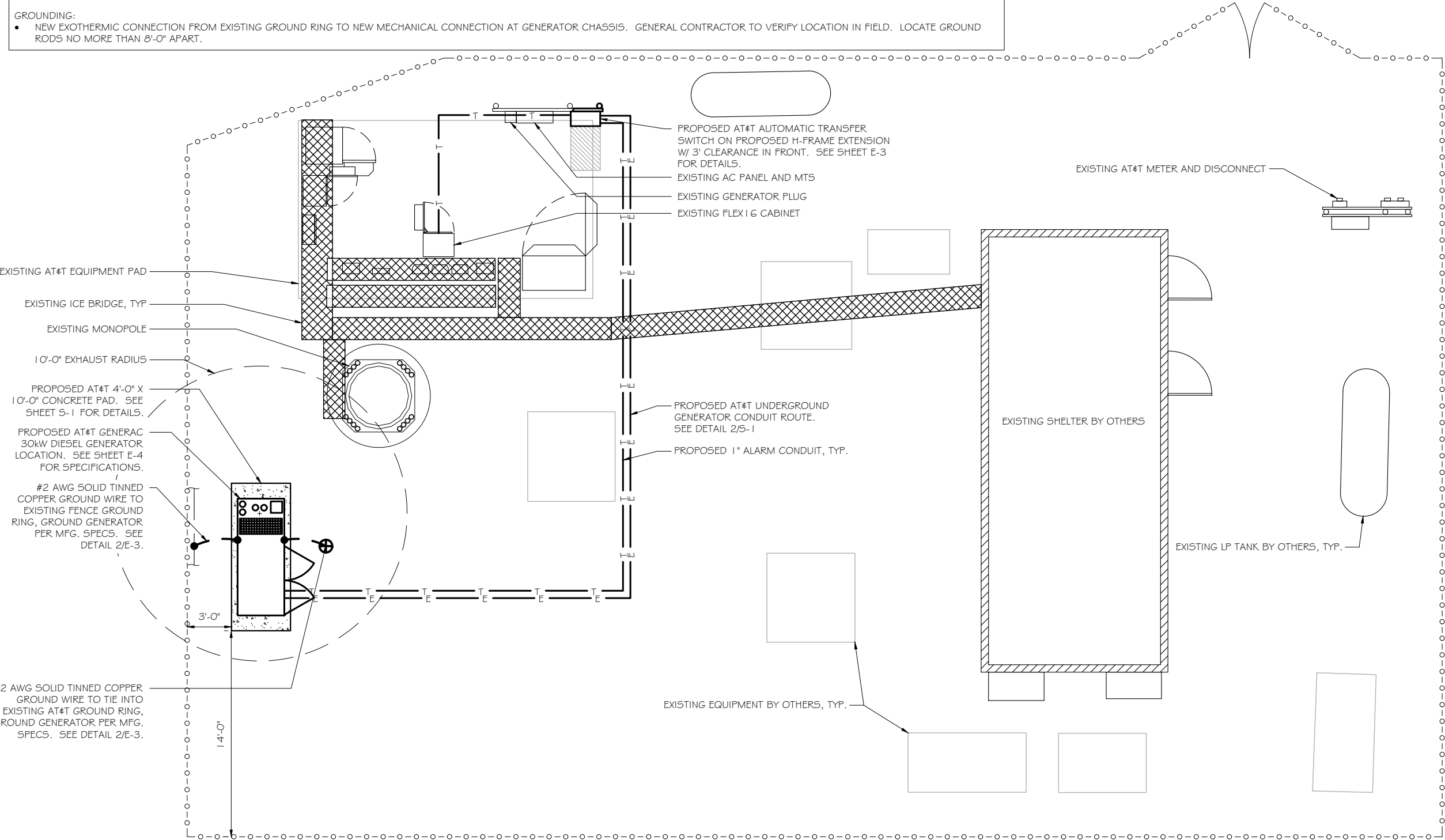
CONDUITS:

- INSTALL PULL STRING IN EACH CONDUIT
- (1) NEW 2" AND (1) NEW 1" ELECTRICAL CONDUITS WITH CONDUCTORS TO RUN FROM NEW GENERATOR TO NEW ATS. CONDUIT PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. SEE E-1, E-2 & E-3.
- (1) NEW 1" ELECTRICAL CONDUIT WITH CONDUCTORS TO RUN FROM NEW GENERATOR TO AC PANEL. CONDUIT PROVIDED & INSTALLED BY GENERAL CONTRACTOR. SEE E-1, E-2 & E-3.
- (1) NEW 1" ALARM CONDUIT & CABLING PROVIDED & INSTALLED BY GENERAL CONTRACTOR. SEE E-1, E-2 & E-3.

GROUNDING:

- NEW EXOTHERMIC CONNECTION FROM EXISTING GROUND RING TO NEW MECHANICAL CONNECTION AT GENERATOR CHASSIS. GENERAL CONTRACTOR TO VERIFY LOCATION IN FIELD. LOCATE GROUND RODS NO MORE THAN 8'-0" APART.

NOTE:
VERIFY ALL ALARM DROP-OFF LOCATIONS DURING THE PRE-CON WALK



SITE PLAN
SCALE: 1" = 7.5'

BOS0222-08-17 p.64/166



RAMAKER
employee-owned
(608) 643-4100 www.ramaker.com

PREPARED FOR:



CONSULTANT:
GENERAL DYNAMICS
Information Technology, Inc.

GENERAL DYNAMICS
993 MANSELL ROAD, SUITE D
ROSWELL, GA 30076

Certification & Seal:
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Virginia.



MARK	DATE	DESCRIPTION
ISSUE	FINAL	DATE ISSUED 04/05/2022

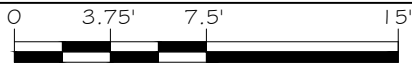
PROJECT TITLE:

PALMYRA
FA ID # 10103205

PROJECT INFORMATION:
14591 JAMES MADISON HIGHWAY
PALMYRA, VA 22963

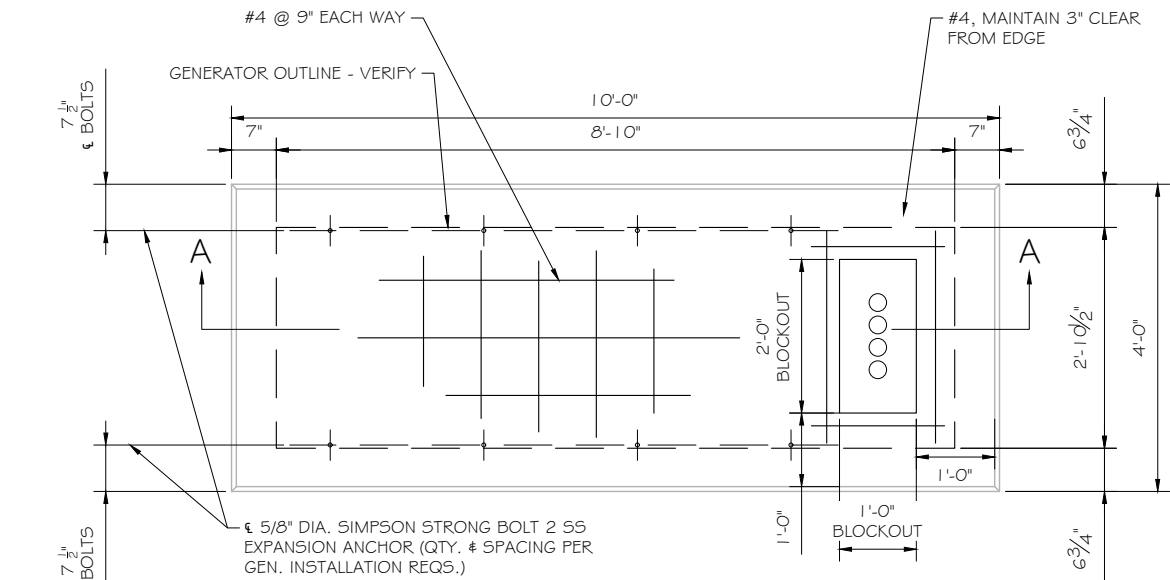
SHEET TITLE:

SITE PLAN

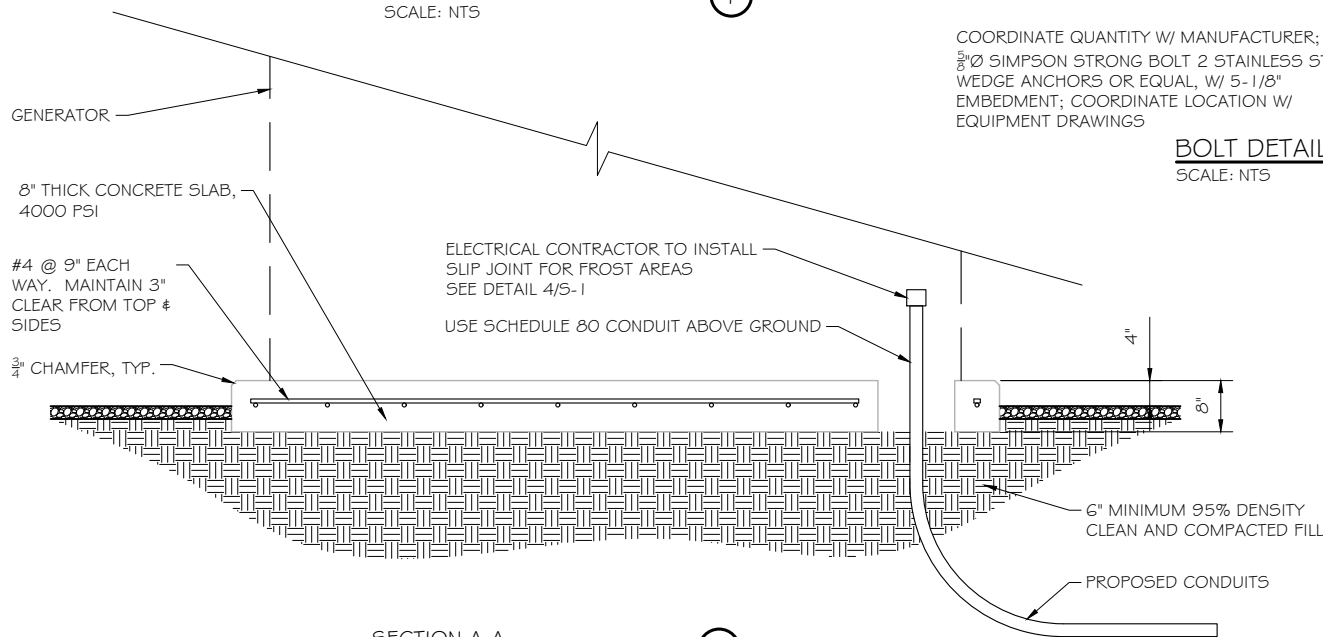


11" x 17" - 1" = 7.5'
22" x 34" - 1" = 3.75'

PROJECT NUMBER 53450
SHEET NUMBER A-1



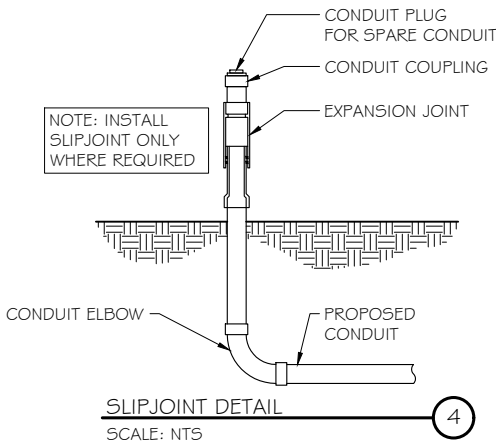
FOUNDATION PLAN
SCALE: NTS



SECTION A-A
SCALE: NTS

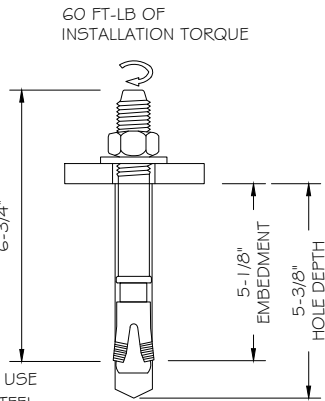
DOUBLE WALL FUEL TANK BASE SPECIFICATION

REF: ATT 30KW GENERATOR PACKAGE
UL REGISTRATION NUMBER: MH18459
U.L. 142 DOUBLE WALL FUEL TANK BASE SPECIFICATION
FUEL TANK BASE CONSTRUCTION:
• BE CONSTRUCTED IN ACCORDANCE WITH UNDERWRITERS LABORATORIES STANDARD UL-142. BE CONSTRUCTED IN ACCORDANCE WITH FLAMMABLE & COMBUSTIBLE LIQUIDS CODE, NFPA 30; THE STANDARD FOR INSTALLATION & USE OF STATIONARY COMBUSTIBLE ENGINE & GAS TURBINES, NFPA 37; AND THE STANDARD FOR EMERGENCY & STANDBY POWER SYSTEMS, NFPA 110.
• ANCHORS MINIMUM (4) @ 5/8" FOR GEN-SET MOUNTING
SUB BASE TANK TESTING: PRIMARY TANK & SECONDARY CONTAINMENT BASIN SECTIONS SHALL BE PRESSURIZED AT 3-5 PSI AND LEAK-CHECKED TO ENSURE INTEGRITY OF SUB BASE WELD SEAMS PER UL-142 STANDARDS
FUEL FILL: 5 GALLON SPILL CONTAINMENT WITH ALARM
• 40% REMAINING FOR ALARM
• 20% REMAINING FOR SHUT-DOWN
FACTORY PRE-SET AT 95% FULL FOR ALARM
FUEL CONTAINMENT BASIN: SUB BASE TANK SHALL INCLUDE A WELDED STEEL CONTAINMENT BASIN, SIZED AT A MINIMUM OF 110% OF THE TANK CAPACITY TO PREVENT ESCAPE OF FUEL INTO THE ENVIRONMENT IN THE EVENT OF A TANK RUPTURE. A FUEL CONTAINMENT BASIN LEAK DETECTOR SWITCH SHALL BE PROVIDED.

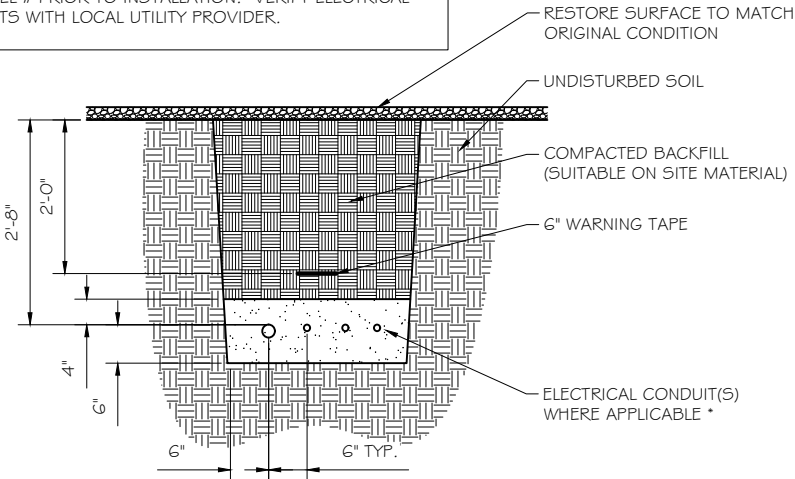


SLIPJOINT DETAIL
SCALE: NTS

BOLT DETAIL
SCALE: NTS



NOTE:
VERIFY WIRE AND CONDUIT QUANTITY & SIZES WITH GENERATOR MAKE & MODEL # PRIOR TO INSTALLATION. VERIFY ELECTRICAL REQUIREMENTS WITH LOCAL UTILITY PROVIDER.



* SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS

NOTES:
1. PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
2. PROVIDE RGS CONDUIT AND ELBOWS AT STUB UP LOCATIONS (I.E. SERVICE POLE, BTS EQUIPMENT, ETC.)
3. INSTALL UTILITY PULLBOXES PER NEC.

UTILITY CONDUIT TRENCH
SCALE: NTS

STRUCTURAL GENERAL NOTES

- 1.0 GENERAL CONDITIONS
1.1 DESIGN & CONSTRUCTION OF ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES, ACI 318-11. IN CASE OF CONFLICT BETWEEN THE CODES, STANDARDS, REGULATIONS, SPECIFICATIONS, GENERAL NOTES AND/OR MANUFACTURER'S REQUIREMENTS, USE THE MOST STRINGENT PROVISIONS.
1.2 IT IS THE EXPRESS INTENT OF PARTIES INVOLVED IN THIS PROJECT THAT THE CONTRACTOR OR SUBCONTRACTOR OR INDEPENDENT CONTRACTOR OR THE RESPECTIVE EMPLOYEES SHALL EXCULPATE THE ARCHITECT, THE ENGINEER, TECH. CONSTRUCTION MANAGER, THE OWNER, & THEIR AGENTS FROM ANY LIABILITY WHATSOEVER & HOLD THEM HARMLESS AGAINST LOSS, DAMAGES, LIABILITY OR ANY EXPENSE ARISING IN ANY MATTER FROM THE WRONGFUL OR NEGLIGENT ACT, OR FAILURE TO CARRY METHODS, TECHNIQUES OR PROCEDURES OR FAILURE TO CONFORM TO THE STATE SCAFFOLDING ACT IN CONNECTIONS WITH THE WORK.
1.3 DO NOT SCALE DRAWINGS
1.4 VERIFY ALL EQUIPMENT MOUNTING DIMENSIONS PER MANUFACTURER DRAWINGS
1.5 DESIGN LOADS ARE (GENERAC):
LIVE LOAD : 100 PSF
EQUIPMENT SIZE : 889.1" H, 106" W, 38" D
WEIGHT WITH WOODEN SHIPPING SKID
ENCLOSED GENERATOR : 3974 LBS
2.0 FOR DESIGN & ANALYSIS OF THE FOUNDATION, THE MINIMUM NET SOIL BEARING CAPACITY SHALL BE ASSUMED TO BE 2000 PSF.
3.0 CONCRETE
3.1 MEET OR EXCEED THE FOLLOWING CODES & STANDARDS:
DESIGN : ACI 318-11
CONSTRUCTION : ACI 301
DETAILING : CRSI MANUAL OF STANDARD PRACTICE
REINF. STEEL : ASTM A 615 GRADE 60, DEFORMED
MIXING : ASTM C 94. READY MIX CONCRETE
AIR ENTRAINMENT : ACI 318 AND ASTM C-260
AGGREGATE : ASTM C 33 AND C 330 (FOR LIGHT WEIGHT)
3.2 CONCRETE STRENGTH AT 28 DAYS SHALL BE 4000 PSI MINIMUM
3.3 DO NOT FIELD BEND OR WELD TO GRADE 60 REINFORCED STEEL
3.4 PROVIDE AIR ENTRAINED CONCRETE WITH AIR CONTENT OF 5 TO 7% FOR ALL CONCRETE EXPOSED TO EARTH OR WEATHER.
3.5 MAXIMUM AGGREGATE SIZE: 3/4"
3.6 DO NOT USE IN ADMIXTURE, WATER OR OTHER CONSTITUENTS OF CONCRETE WHICH HAS CALCIUM CHLORIDE.
3.7 MINIMUM COVER FOR REINFORCING STEEL SHALL BE AS SHOWN ON PLAN.
4.0 FOUNDATION & EXCAVATION NOTES
4.1 SLAB SHALL BE CONSTRUCTED UPON UNDISTURBED, NATURAL SUBGRADE OR COMPACTED GRANULAR FILL WITH AN ASSUMED MINIMUM NET ALLOWABLE BEARING CAPACITY OF 1800 PSF.
4.2 ALL ORGANIC AND/OR OTHER UNSUITABLE MATERIAL SHALL BE REMOVED FRO FOUNDATION & SLAB SUBGRADE & BACKFILL AREAS, & THEN BACKFILLED WITH ACCEPTABLE GRANULAR FILL COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT (ASTM D 1557).
4.3 THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY WATER, FROST, OR ICE FROM PENETRATING ANY FOOTING OR STRUCTURAL SUBGRADE BEFORE & AFTER PLACING OF CONCRETE, AND UNTIL SUCH CONCRETE HAS FULLY CURED.

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PREPARED FOR:



CONSULTANT:
GENERAL DYNAMICS
Information Technology, Inc.

GENERAL DYNAMICS
993 MANSELL ROAD, SUITE D
ROSWELL, GA 30076

Certification & Seal:

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MARK	DATE	DESCRIPTION

ISSUE	DATE	DESCRIPTION
FINAL	04/05/2022	

PROJECT TITLE:
PALMYRA
FA ID # 10103205

PROJECT INFORMATION:
14591 JAMES MADISON HIGHWAY
PALMYRA, VA 22963

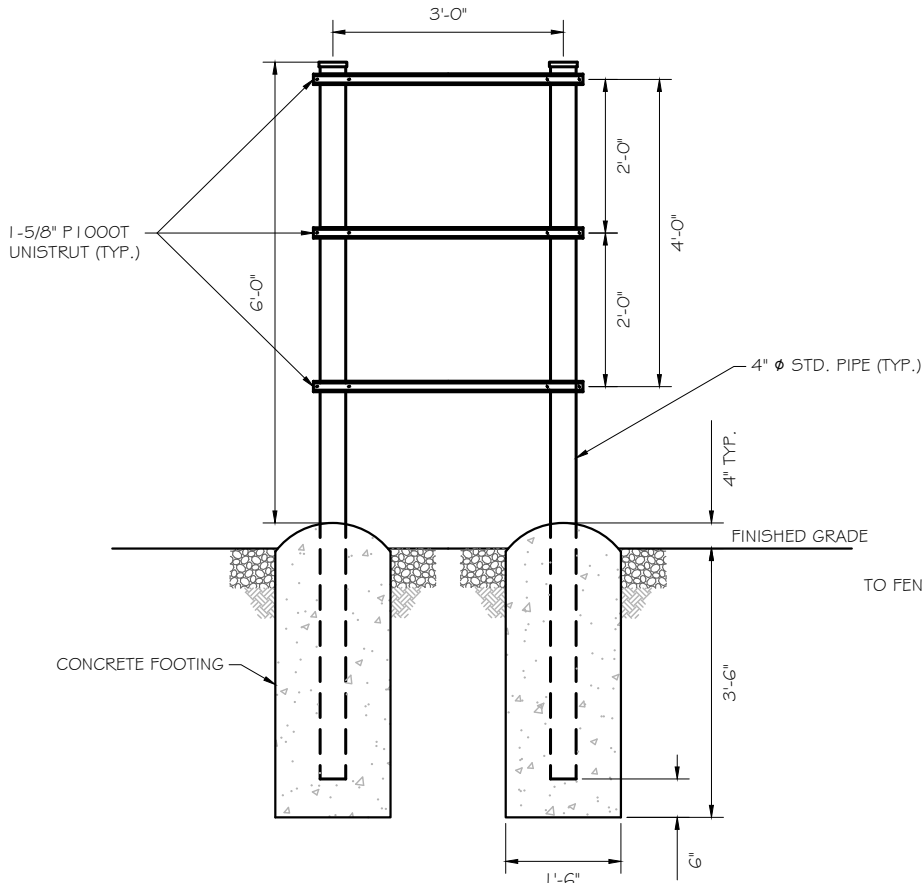
SHEET TITLE:
FOUNDATION DETAILS

SCALE: NONE

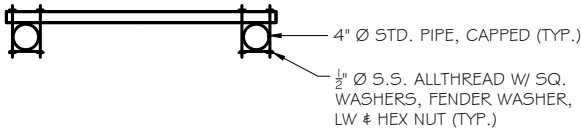
PROJECT NUMBER	53450
SHEET NUMBER	S-1

SCOPE OF WORK DETAILS

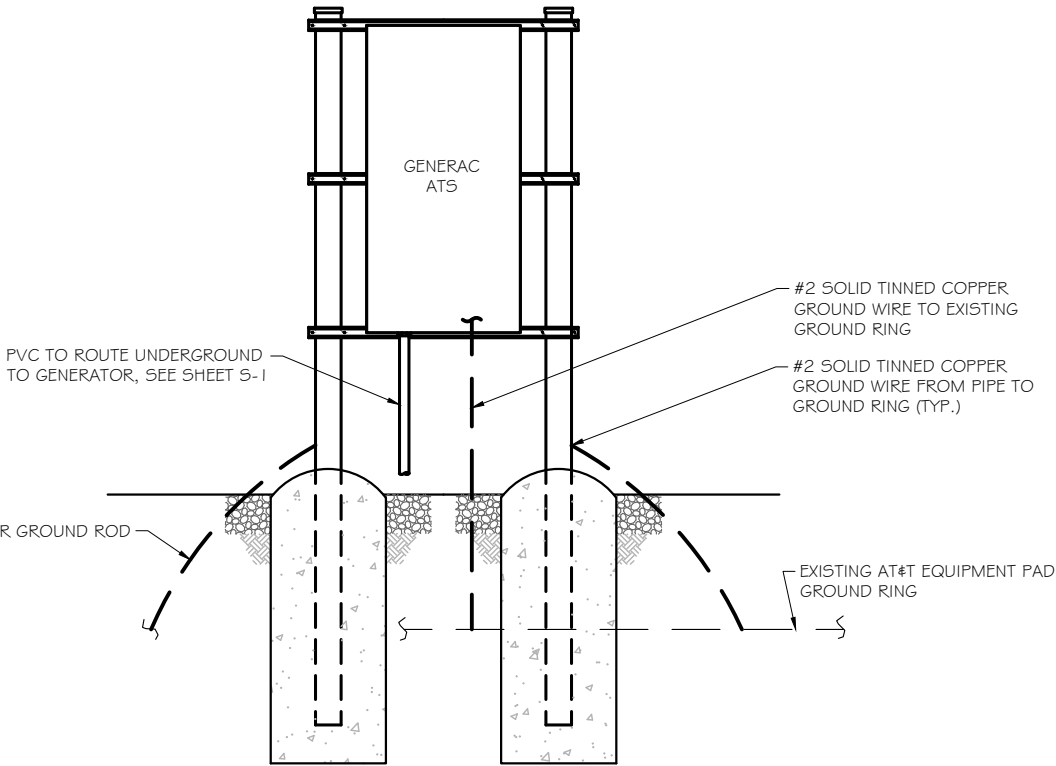
- H-FRAME:
- PROVIDE NEW H-FRAME IF REQUIRED, MATCH EXISTING H-FRAME MATERIAL FOR CONSTRUCTION OF NEW H-FRAME. USE ALL GALVANIZED COMPONENTS, WHITE PLASTIC END CAPS ON UNISTRUTS, WEATHER CAPS ON TOPS OF PIPE AND CONCRETE SUPPORTS BELOW FROST LINE. TOP OF FOOTING SHOULD BE AT LEAST 2" ABOVE EXISTING GROUND LEVEL. SLOPE THE GROUND AWAY FROM THE H-FRAME FOR POSITIVE WATER DRAINAGE OFF THE FORM.



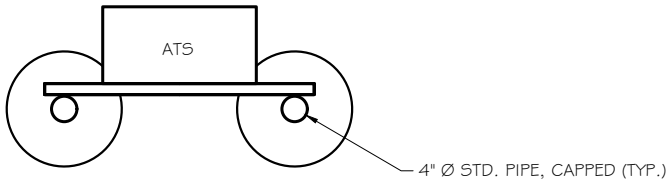
FRONT VIEW - RACK



TOP VIEW - RACK



FRONT VIEW - ATS



TOP VIEW - ATS

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MARK	DATE	DESCRIPTION
ISSUE	FINAL	DATE ISSUED 04/05/2022

PROJECT TITLE:

PALMYRA
FA ID # 10103205

PROJECT INFORMATION:
14591 JAMES MADISON HIGHWAY
PALMYRA, VA 22963

SHEET TITLE:

H-FRAME DETAILS

SCALE: NONE

PROJECT NUMBER	53450
SHEET NUMBER	S-2

DIAGRAM CIRCUIT SCHEDULE						
NO.	FROM	TO	WIRES	GROUND	CONDUIT SIZE	FUNCTION
1	NORMAL POWER SOURCE	AUTOMATIC TRANSFER SWITCH	(3) 3/0	(1) #4	2"	NORMAL POWER FEEDER TO ATS (CUT BACK EXISTING)
2	AUTOMATIC TRANSFER SWITCH	LOAD CENTER	(3) 3/0	(1) #4	2"	POWER FEEDER FROM ATS TO PANEL
3	GENERATOR	AUTOMATIC TRANSFER SWITCH	(3) #1	(1) #6	1-1/2"	EMERGENCY POWER FEEDER TO ATS
4	AUTOMATIC TRANSFER SWITCH	GENERATOR	(2) #10	(1) #10	1"	START CIRCUIT
5	LOAD CENTER (DISTRIBUTION CENTER)	GENERATOR, ATS	(2) #12 (2) #12	(1) #12 (1) #12	1" 1"	CIRCUIT FOR GENERATOR BLOCK HEATER & BATTERY HEATER CIRCUIT FOR BATTERY CHARGER
6	GENERATOR	AUTOMATIC TRANSFER SWITCH	12-PAIR 24 AWG OR 2EA 6-PAIR CAT5	N/A	1"	ALARM CABLES (1) 12 PAIR 24 AWG. PROVIDE 24" OF SLACK CABLE. FINAL PUNCH DOWN IS BY AT&T TECH. LABEL ALL WIRES
7	AUTOMATIC TRANSFER SWITCH	ALARM BLOCK	12-PAIR 24 AWG OR 2EA 6-PAIR CAT5	N/A	1"	ALARM CABLES (1) 12 PAIR 24 AWG (RUN TO PURCELL CABINET & INTO ALARM BOX). PROVIDE 24" OF SLACK CABLE. FINAL PUNCH DOWN IS BY AT&T TECH. LABEL ALL WIRES

CIRCUIT DETAIL
SCALE: NTS

ALARM REQUIREMENTS
AT&T REQUIRES FOUR ALARMS CONFIRMED WORKING: NORMALLY CLOSED VOLT-FREE CONTACT FOR:
1. GENERATOR RUN
2. GENERATOR FAIL
3. LOW LEAK
4. FUEL LEAK

COLOR CODE
GENERATOR:

- A. CABLE - CAT5 CABLE ONLY
B. COLOR CODE
1. GENERATOR RUNNING - BROWN / BROWN & WHITE
2. CRITICAL FAULT - GREEN / GREEN & WHITE
3. MINOR FAULT - BLUE / BLUE & WHITE
4. LOW FUEL - ORANGE / ORANGE & WHITE
5. FUEL LEAK - BROWN / BROWN & WHITE (FROM 2ND CAT5 CABLE)

NOTE: FOR SITES IN NORTH CAROLINA OR SOUTH CAROLINA, SEE E-1.1 FOR ADDITIONAL ALARM DETAILS

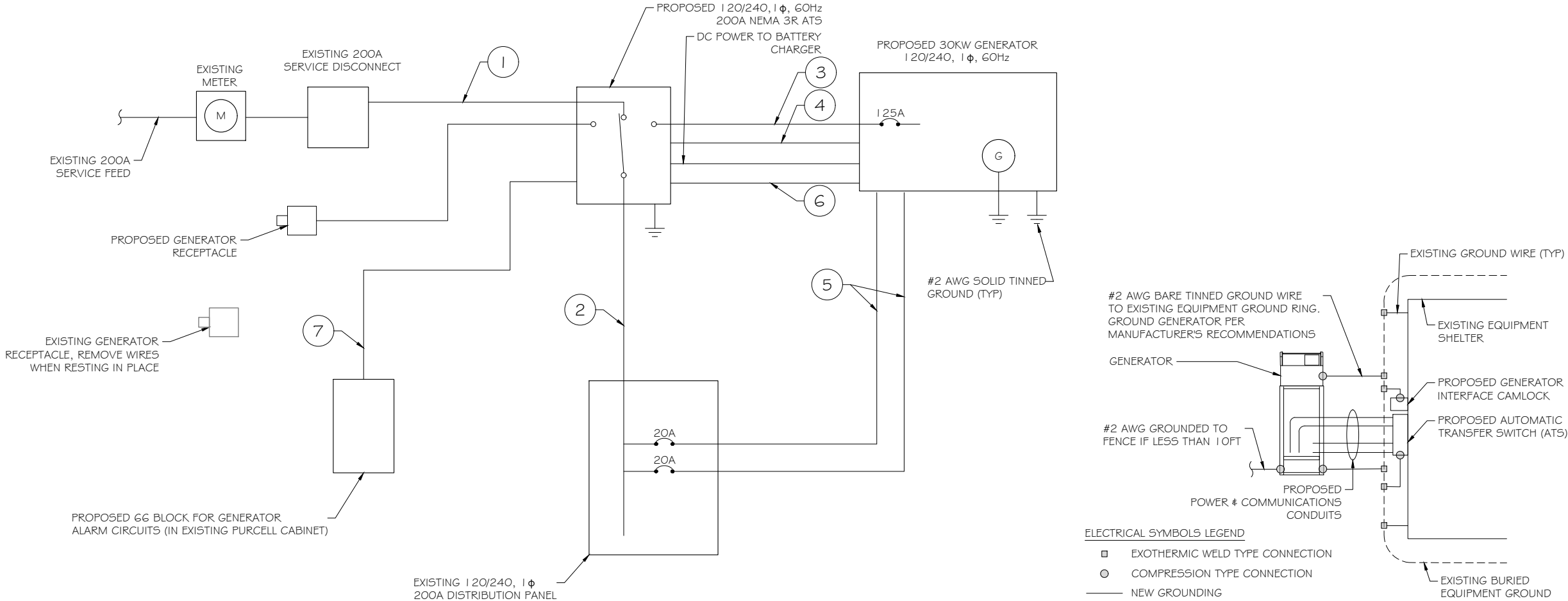
AUTOMATIC TRANSFER SWITCH (IF APPLICABLE)

- A. CABLE - CAT5
B. COLOR CODE
1. COMMERCIAL POWER - ORANGE POWER FAIL / ORANGE & WHITE POWER FAIL (FROM 3RD CAT5 CABLE IN ATS)

NOTE: ALL ALARMS ARE NORMALLY OPEN UNLESS NOTED

GENERATOR ALARM IDENTIFICATION CHART	
NAME	DESCRIPTION
CF	CRITICAL FAILURE
FL	FUEL LEAK / OVERFILL
GR	GENERATOR RUNNING
LF	LOW FUEL
MAF	MAJOR FAULT
MF	MINOR FAULT (PRE-ALARMS)
NOTE: CONTRACTOR TO LABEL WIRES W/ P-TOUCH OR SIMILAR LABELS ONLY. ABSOLUTELY NO HANDWRITTEN LABELS.	

ALARM WIRING IDENTIFICATION CHART
SCALE: NTS



PROPOSED WIRING DIAGRAM
SCALE: NTS

GROUNDING PLAN
SCALE: NTS

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MARK	DATE	DESCRIPTION

ISSUE	DATE	DESCRIPTION
FINAL	04/05/2022	

PROJECT TITLE:
PALMYRA
FA ID # 10103205

PROJECT INFORMATION:
14591 JAMES MADISON HIGHWAY
PALMYRA, VA 22963

SHEET TITLE:
WIRING DETAILS

SCALE: NONE

PROJECT NUMBER: 53450
SHEET NUMBER: E-1

AC Distribution Panel - Layout Diagram									
Breaker Position	Breaker Type	On/Off	Size	Circuit Label	Breaker Position	Breaker Type	On/Off	Size	Circuit Label
1					2				
3					4				
5					6				
7					8				
9					10				
11					12	2P	Off		
13					14	2P	On		
15					16				
17					18	2P	On		
19	1P	ON	20	BLOCK HEATER	20	2P	On		
21	1P	ON	20	BATTERY CHARGER	22	2P	On		
23					24				
25					26	2P	On		
27					28				
29					30	1P	On		GFCI
31					32	1P	On	15	HEAT MAT
33					34	1P	On	15	BAT ENCL
35					36	2P	Off	30	NODE B
37	2P	Off	50	GSM	38				
39					40	1P	On	20	LIGHT
41	1P	On	15	TELCO GFI	42	1P	On	20	GFI

PROPOSED 20A BREAKERS FOR BLOCK HEATER AND BATTERY CHARGER ON NEW AT&T GENERATOR

EXISTING PANEL SCHEDULE
SCALE: NTS

NOTE:
CONTRACTOR TO LABEL WIRES WITH P-TOUCH OR SIMILAR LABELS ONLY. ABSOLUTELY NO HANDWRITTEN LABELS.

*CONTRACTOR TO UTILIZE NEXT AVAILABLE IN SEQUENCE SINGLE BREAKER POSITION FOR GENERATOR, BATTERY CHARGER, BATTERY HEATER AND BLOCK HEATER

NOTE:
1. IF EXISTING CONSTRUCTION VARIES FROM THIS DETAIL, AN EQUAL 3-HR U.L. PENETRATION APPROPRIATE FOR THE EXISTING WALL TYPE SHALL BE CONSTRUCTED
2. GC SHALL USE NON-SHRINKING CAULK TO WEATHERSEAL ALL PENETRATIONS INTO OR THRU SHELTER WALL.

Type GR
CABLE TAP TO TOP OF GROUND ROD

Type GT
THROUGH CABLE TO TOP OF GROUND ROD.

Type GY
THROUGH CABLE TO SIDE OF GROUND ROD

Type HS
HORIZONTAL CABLE TAP TO HORIZONTAL STEEL SURFACE OR PIPE. CABLE OFF SURFACE.

Type TA
TEE OF HORIZONTAL RUN AND TAP CABLES.

Type VN
HORIZONTAL CABLE TAP TO VERTICAL STEEL SURFACE OR THE SIDE OF HORIZONTAL PIPE

Type VS
CABLE TAP DOWN AT 45° TO VERTICAL STEEL SURFACE OR SIDE OF HORIZONTAL OR VERTICAL PIPE.

Type VV
THROUGH VERTICAL CABLE TO VERTICAL STEEL SURFACE OR TO THE SIDE OF EITHER HORIZONTAL OR VERTICAL PIPE

Type GR
CABLE TAP TO TOP OF GROUND ROD

U.L. SYSTEM NO. C-AJ-1150
CONDUIT THROUGH BEARING WALL SIMILAR TO U.L. DESIGN NO. U902
F RATING = 3 HR
T RATING = 0 HR

- FLOOR OR WALL ASSEMBLY : MINIMUM 4-1/2" THICK REINFORCED LIGHTWEIGHT OR NORMAL WEIGHT (100-150 PCF) CONCRETE. WALL MAY ALSO BE CONSTRUCTED OF ANY UL CLASSIFIED CONCRETE BLOCKS*. MAX DIAMETER OF OPENING IS 4". SEE CONCRETE BLOCKS 9CATZ) CATEGORY IN THE FIRE RESISTANCE DIRECTORY FOR NAMES OF MANUFACTURERS.
- THROUGH PENETRATIONS : ONE METALLIC PIPE OR CONDUIT TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR OR WALL ASSEMBLY. THE ANNULAR SPACE SHALL BE MINIMUM 0". (POINT CONTACT) TO MAXIMUM 1-3/8". THE FOLLOWING TYPES AND SIZES OF METALLIC PIPES OR CONDUITS MAY BE USED:
A. STEEL PIPE-NOMINAL 6" DIAMETER (OR SMALLER) SCHEDULE 40 (OR HEAVIER) STEEL PIPE.
B. IRON PIPE-NOMINAL 6" DIAMETER (OR SMALLER) CAST OR DUCTILE IRON PIPE.
C. CONDUIT - NOMINAL 4" DIAMETER (OR SMALLER) STEEL ELECTRICAL METALLIC TUBING OR NOMINAL 3-1/2" DIAMETER (OR SMALLER) STEEL CONDUIT.
- PACKING MATERIAL: MINIMUM 6" THICKNESS OF MIN 4.0 PCF MINERAL WOOL BATTING INSULATION FIRMLY PACKED INTO OPENING AS A PERMANENT FORM. PACKING MATERIAL TO BE RECESSED FROM TOP SURFACE OF FLOOR OR FROM BOTH SURFACES OF WALL AS REQUIRED TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL.
- FILL, VOID, OR CAVITY MATERIAL*: SEALANT: MINIMUM 1/4" THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH WITH TOP SURFACE OF FLOOR AND WITH BOTH SURFACES OF WALL. AT THE POINT CONTACT LOCATION BETWEEN PIPE AND CONCRETE, A MINIMUM 1/2" DIAMETER BEAD OF FILL MATERIAL SHALL BE APPLIED AT THE CONCRETE/PIPE INTERFACE ON THE TOP SURFACE OF FLOOR AND ON BOTH SURFACES OF WALL. W RATING APPLIES ONLY WHEN CP601S OR CP604 SEALANT IS USED.

HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC. : CP601S, CP604, CP606, OR FS-ONE SEALANT.

* BEARING THE UL CLASSIFICATION MARK

OUTER WALL PENETRATION DETAIL (IF APPLICABLE)
SCALE: NTS

CADWELD DETAILS
SCALE: NTS

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PREPARED FOR:



CONSULTANT:
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GENERAL DYNAMICS
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ROSWELL, GA 30076

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MARK	DATE	DESCRIPTION
ISSUE PHASE	FINAL	DATE ISSUED 04/05/2022

PROJECT TITLE:

PALMYRA
FA ID # 10103205

PROJECT INFORMATION:
14591 JAMES MADISON HIGHWAY
PALMYRA, VA 22963

SHEET TITLE:

PANEL AND PENETRATION
DETAILS

SCALE: NONE

PROJECT NUMBER	53450
SHEET NUMBER	E-2

1

CONDUIT (TYP)

2

BUTTERFLY CLAMP AS REQUIRED

3

EXISTING WALL/CEILING

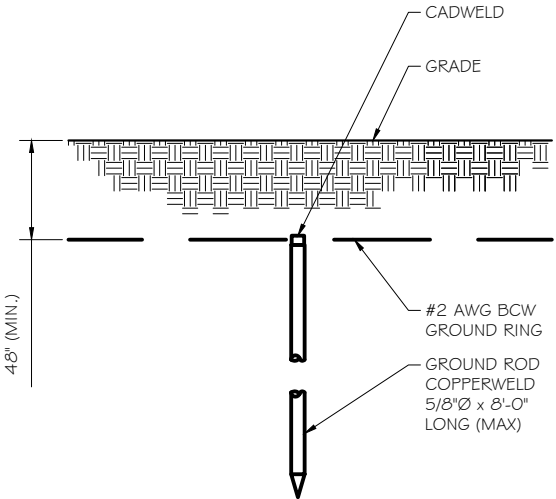
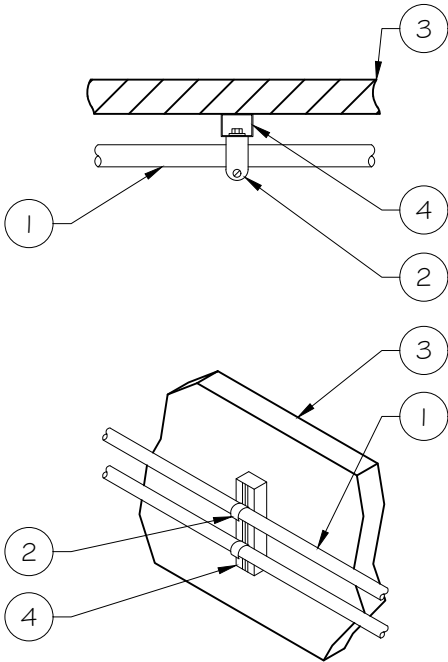
4

VERTICAL "UNISTRUT" P1000 "T" SERIES
LENGTH BASED ON NUMBER OF
CONDUIT TO BE MOUNTED

WALL CONSTRUCTION TYPE	USE
HOLLOW	3/8" DIA. TOGGLE BOLT
HOLLOW, AT STUD	3/8" DIA. LAG SCREW
CONCRETE BLOCK (HOLLOW)	3/8" DIA. HILTI HY-20 WITH SCREEN, MINIMUM EMBEDMENT 2-1/2"
CONCRETE (SOLID)	3/8" DIA. HILTI HY-150 WITH SCREEN, MINIMUM EMBEDMENT 2-1/2"

NOTE: USE GALVANIZED OR STAINLESS STEEL HARDWARE FOR
WALL MOUNT & CONNECTIONS OF CHANNELS SPACE UNITS @
5'-0" O.C. LENGTH OF RUN

CONDUIT WALL MOUNT 1
SCALE: NTS

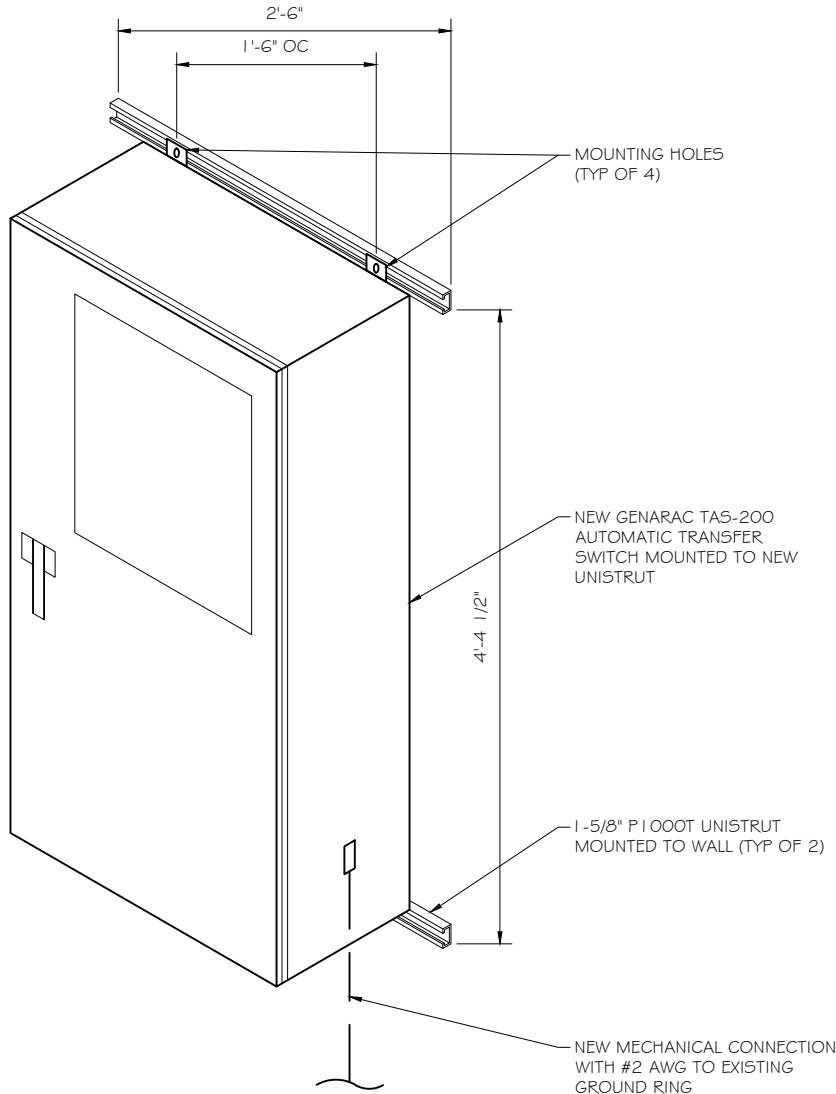


GROUND ROD DETAIL 2
SCALE: NTS

- NOTE:
- GROUND RODS MAY BE:
 - COPPER CLAD STEEL
 - SOLID COPPER
 - GROUND RODS SHALL HAVE A MAXIMUM SPACING TWICE THE LENGTH OF ROD
 - SEE RESISTIVITY REPORT FOR VERIFICATION AS AVAILABLE
 - A LARGER CONDUCTOR SHALL BE REQUIRED IN AREAS HIGHLY PRONE TO LIGHTNING AND/OR AREAS WITH HIGHLY ACIDIC SOIL
 - GROUND RODS INSTALLED WITHIN CLOSE PROXIMITY TO TOWER OR WHEN SOIL IS AT OR BELOW 2,000 OHM-CM, SHALL BE GALVANIZED TO PREVENT GALVANIC CORROSION OF TOWER, (SEE ANSI/TIA-EIA-222-G)
 - PROVIDE (1) GROUND LEAD TO EACH SIDE OF THE GENERATOR

WALL CONSTRUCTION TYPE	USE
HOLLOW	3/8" DIA. TOGGLE BOLT
HOLLOW, AT STUD	3/8" DIA. LAG SCREW
CONCRETE BLOCK (HOLLOW)	7/16" DIA. HILTI HY-20 WITH SCREEN MINIMUM EMBEDMENT 2-1/2"
CONCRETE (SOLID)	7/16" DIA. HILTI HY-150 WITH SCREEN MINIMUM EMBEDMENT 2-1/2"

- NOTE:
- USE GALVANIZED OR STAINLESS STEEL HARDWARE FOR WALL MOUNT AND CONNECTION OF CHANNELS
 - GC SHALL USE NON-SHRINKING CAULK TO WEATHER SEAL ALL PENETRATIONS INTO OR THROUGH SHELTER WALL



GENERAC ATS MOUNTING DETAIL 3
SCALE: NTS

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PREPARED FOR:




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DARYL R. MATZKE
Lic. No. 402056307
PROFESSIONAL ENGINEER

Signature: 

Date: 4/05/2022

MARK	DATE	DESCRIPTION
ISSUE	FINAL	DATE ISSUED 04/05/2022
PHASE		
PROJECT TITLE:		

PALMYRA
FA ID # 10103205

PROJECT INFORMATION:
14591 JAMES MADISON HIGHWAY
PALMYRA, VA 22963

SHEET TITLE:
ATS, CONDUIT & GROUND ROD
DETAILS

SCALE: NONE

PROJECT NUMBER	53450
SHEET NUMBER	E-3

SD030 | 2.2L | 30 kW

INDUSTRIAL DIESEL GENERATOR SET

EPA Certified Stationary Emergency



Standby Power Rating
30 kW, 38 kVA, 60 Hz

Prime Power Rating*
27 kW, 34 kVA, 60 Hz



*EPA Certified Prime ratings are not available in the US or its Territories

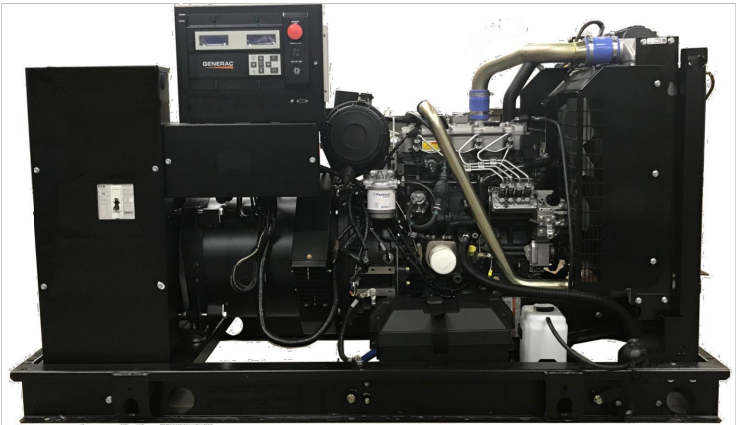


Image used for illustration purposes only

Codes and Standards

Not all codes and standards apply to all configurations. Contact factory for details.

		UL2200, UL508, UL489, UL142
		CSA C22.2
		BS5514 and DIN 6271
		SAE J1349
		NFPA 37, 70, 99, 110
		NEC700, 701, 702, 708
		ISO 3046, 7637, 8528, 9001
		NEMA ICS10, MG1, 250, ICS6, AB1
		ANSI C62.41

Powering Ahead

For over 50 years, Generac has provided innovative design and superior manufacturing.

Generac ensures superior quality by designing and manufacturing most of its generator components, including alternators, enclosures and base tanks, control systems and communications software.

Generac gensets utilize a wide variety of options, configurations and arrangements, allowing us to meet the standby power needs of practically every application.

Generac searched globally to ensure the most reliable engines power our generators. We choose only engines that have already been proven in heavy-duty industrial applications under adverse conditions.

Generac is committed to ensuring our customers' service support continues after their generator purchase.

SD030 | 2.2L | 30 kW

INDUSTRIAL DIESEL GENERATOR SET

EPA Certified Stationary Emergency



STANDARD FEATURES

ENGINE SYSTEM

- Oil Drain Extension
- Air Cleaner
- Fan Guard
- Stainless Steel Flexible Exhaust Connection
- Factory Filled Oil and Coolant
- Radiator Duct Adapter (Open Set Only)
- Critical Silencer (Enclosed Unit Only)
- Engine Coolant Heater

Fuel System

- Fuel Lockoff Solenoid
- Primary Fuel Filter

Cooling System

- Closed Coolant Recovery System
- UV/Ozone Resistant Hoses
- Factory-Installed Radiator
- Radiator Drain Extension
- 50/50 Ethylene Glycol Antifreeze

Electrical System

- Battery Charging Alternator
- Battery Cables
- Battery Tray
- Rubber-Booted Engine Electrical Connections
- Solenoid Activated Starter Motor

ALTERNATOR SYSTEM

- UL2200 GENprotect™
- Class H Insulation Material
- 2/3 Pitch
- Skewed Stator
- Brushless Excitation
- Sealed Bearing
- Rotor Dynamically Spin Balanced
- Amortisseur Winding (3-Phase Only)
- Full Load Capacity Alternator
- Protective Thermal Switch

GENERATOR SET

- Internal Genset Vibration Isolation
- Separation of Circuits - High/Low Voltage
- Separation of Circuits - Multiple Breakers
- Wrapped Exhaust Piping
- Standard Factory Testing
- 2 Year Limited Warranty (Standby Rated Units)
- 1 Year Limited Warranty (Prime Rated Units)
- Silencer Mounted in the Discharge Hood (Enclosed Unit Only)

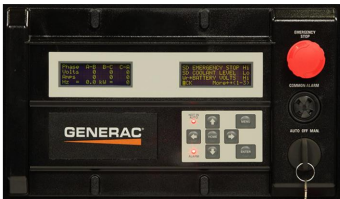
ENCLOSURE (If Selected)

- Rust-Proof Fasteners with Nylon Washers to Protect Finish
- High Performance Sound-Absorbing Material (Sound Attenuation Enclosures)
- Gasketed Doors
- Stamped Air-Intake Louvers
- Upward Facing Discharge Hoods (Radiator and Exhaust)
- Stainless Steel Lift Off Door Hinges
- Stainless Steel Lockable Handles
- RhinoCoat™ - Textured Polyester Powder Coat Paint

FUEL TANKS (If Selected)

- UL 142/ULC S601
- Double Wall
- Normal and Emergency Vents
- Sloped Top
- Sloped Bottom
- Factory Pressure Tested
- Rupture Basin Alarm
- Fuel Level
- Check Valve In Supply and Return Lines
- RhinoCoat™ - Textured Polyester Powder Coat Paint
- Stainless Steel Hardware

CONTROL SYSTEM



Digital H Control Panel- Dual 4x20 Display

Program Functions

- Programmable Crank Limiter
- 7-Day Programmable Exerciser
- Special Applications Programmable Logic Controller
- RS-232/485 Communications
- All Phase Sensing Digital Voltage Regulator
- 2-Wire Start Capability
- Date/Time Fault History (Event Log)
- Isochronous Governor Control
- Waterproof/Sealed Connectors

- Audible Alarms and Shutdowns
- Not in Auto (Flashing Light)
- Auto/Off/Manual Switch
- E-Stop (Red Mushroom-Type)
- NFPA110 Level I and II (Programmable)
- Customizable Alarms, Warnings, and Events
- Modbus® Protocol
- Predictive Maintenance Algorithm
- Sealed Boards
- Password Parameter Adjustment Protection
- Single Point Ground
- 16 Channel Remote Trending
- 0.2 msec High Speed Remote Trending
- Alarm Information Automatically Annunciated on the Display

Full System Status Display

- Power Output (kW)
- Power Factor
- kW Hours, Total, and Last Run
- Real/Reactive/Apparent Power
- All Phase AC Voltage
- All Phase Currents

Alarms and Warnings

- Oil Pressure
- Coolant Temperature
- Coolant Level
- Engine Overspeed
- Battery Voltage
- Alarms and Warnings Time and Date Stamped
- Snap Shots of Key Operation Parameters During Alarms and Warnings
- Alarms and Warnings Spelled Out (No Alarm Codes)

BOS0222-08-17 p.70/166



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PREPARED FOR:



CONSULTANT:
GENERAL DYNAMICS
Information Technology, Inc.

GENERAL DYNAMICS
993 MANSELL ROAD, SUITE D
ROSWELL, GA 30076

Certification & Seal:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Virginia.



MARK	DATE	DESCRIPTION
ISSUE	FINAL	
PHASE		

DATE ISSUED 04/05/2022

PROJECT TITLE:

PALMYRA
FA ID # 10103205

PROJECT INFORMATION:
1459 I JAMES MADISON HIGHWAY
PALMYRA, VA 22963

SHEET TITLE:

GENERAC 30KW GENERATOR
SPECIFICATIONS

SCALE: NONE

PROJECT
NUMBER 53450
SHEET
NUMBER E-4

SD030 | 2.2L | 30 kW

INDUSTRIAL DIESEL GENERATOR SET

EPA Certified Stationary Emergency

CONFIGURABLE OPTIONS

ENGINE SYSTEM

- Oil Heater
- Critical Silencer (Open Set Only)
- Radiator Stone Guard
- Level 1 Fan and Belt Guards (Open Set Only)

FUEL SYSTEM

- NPT Flexible Fuel Line

ELECTRICAL SYSTEM

- 10A UL Listed Battery Charger
- Battery Warmer

ALTERNATOR SYSTEM

- Alternator Upsizing
- Anti-Condensation Heater
- Tropical Coating
- Permanent Magnet Excitation

GENERATOR SET

- Extended Factory Testing
- 8 Position Load Center
- Pad Vibration Isolation

ENGINEERED OPTIONS

ENGINE SYSTEM

- Coolant Heater Isolation Ball Valves
- Fluid Containment Pan

CONTROL SYSTEM

- Spare Inputs (x4) / Outputs (x4)
- Battery Disconnect Switch

CIRCUIT BREAKER OPTIONS

- Main Line Circuit Breaker
- 2nd Main Line Circuit Breaker
- Shunt Trip and Auxiliary Contact
- Electronic Trip Breakers

ENCLOSURE

- Weather Protected Enclosure
- Level 1 Sound Attenuation
- Level 2 Sound Attenuation
- Level 2 Sound Attenuation with Motorized Dampers
- Steel Enclosure
- Aluminum Enclosure
- Up to 200 MPH Wind Load Rating (Contact Factory for Availability)
- AC/DC Enclosure Lighting Kit
- Door Alarm Switch
- Enclosure Heater
- Damper Alarm Contacts

WARRANTY (Standby Gensets Only)

- 2 Year Extended Limited Warranty
- 5 Year Limited Warranty
- 5 Year Extended Limited Warranty
- 7 Year Extended Limited Warranty
- 10 Year Extended Limited Warranty

ALTERNATOR SYSTEM

- 3rd Breaker System

GENERATOR SET

- Special Testing



SD030 | 2.2L | 30 kW

INDUSTRIAL DIESEL GENERATOR SET

EPA Certified Stationary Emergency

APPLICATION AND ENGINEERING DATA

ENGINE SPECIFICATIONS

General

Make	Perkins
EPA Emissions Compliance	Stationary Emergency
EPA Emissions Reference	See Emission Data Sheet
Cylinder #	4
Type	In-Line
Displacement - in ³ (L)	135 (2.22)
Bore - in (mm)	3.3 (84)
Stroke - in (mm)	3.9 (100)
Compression Ratio	23.3:1
Intake Air Method	Turbocharged
Cylinder Head	Cast Iron
Piston Type	Aluminum
Crankshaft Type	Forged Steel

Engine Governing

Governor	Electronic Isochronous
Frequency Regulation (Steady State)	±0.5%

Lubrication System

Oil Pump Type	Gear
Oil Filter Type	Full-Flow
Crankcase Capacity - qt (L)	11.2 (10.6)

Cooling System

Cooling System Type	Closed Recovery
Water Pump Type	Pre-Lubed, Self Sealing
Fan Type	Pusher
Fan Speed - RPM	1,980
Fan Diameter - in (mm)	18 (457)

Fuel System

Fuel Type	Ultra Low Sulfur Diesel Fuel #2
Fuel Specifications	ASTM
Fuel Filtering (Microns)	5
Fuel Inject Pump	Distribution Injection Pump
Fuel Pump Type	Engine Driven Gear
Injector Type	Mechanical
Fuel Supply Line - in (mm)	0.31 (7.9) ID
Fuel Return Line - in (mm)	0.2 (4.8) ID

Engine Electrical System

System Voltage	12 VDC
Battery Charger Alternator	Standard
Battery Size	See Battery Index 0161970SBY
Battery Voltage	12 VDC
Ground Polarity	Negative

ALTERNATOR SPECIFICATIONS

Standard Model	K0035124Y21
Poles	4
Field Type	Revolving
Insulation Class - Rotor	H
Insulation Class - Stator	H
Total Harmonic Distortion	<5% (3-Phase)
Telephone Interference Factor (TIF)	< 50

Standard Excitation	Brushless
Bearings	Single Sealed
Coupling	Direct via Flexible Disc
Load Capacity - Standby	100%
Prototype Short Circuit Test	Yes
Voltage Regulator Type	Digital
Number of Sensed Phases	All
Regulation Accuracy (Steady State)	±0.25%



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PROJECT TITLE:

PALMYRA
FA ID # 10103205

PROJECT INFORMATION:
14591 JAMES MADISON HIGHWAY
PALMYRA, VA 22963

SHEET TITLE:

GENERAC 30KW GENERATOR
SPECIFICATIONS

SCALE: NONE

PROJECT NUMBER	53450
SHEET NUMBER	E-4.1

SPEC SHEET

3 of 6

SPEC SHEET

4 of 6

SD030 | 2.2L | 30 kW
INDUSTRIAL DIESEL GENERATOR SET
EPA Certified Stationary Emergency



OPERATING DATA

POWER RATINGS

Standby		
Single-Phase 120/240 VAC @1.0pf	30 kW	Amps: 125
Three-Phase 120/208 VAC @0.8pf	30 kW	Amps: 104
Three-Phase 120/240 VAC @0.8pf	30 kW	Amps: 90
Three-Phase 277/480 VAC @0.8pf	30 kW	Amps: 45
Three-Phase 346/600 VAC @0.8pf	30 kW	Amps: 36

MOTOR STARTING CAPABILITIES (skVA)

skVA vs. Voltage Dip			
277/480 VAC	30%	208/240 VAC	30%
K0035124Y21	61	K0035124Y21	46
K0040124Y21	76	K0040124Y21	58
K0050124Y21	98	K0050124Y21	75

FUEL CONSUMPTION RATES*

Fuel Pump Lift- ft (m)	Diesel - gph (Lph)	
	Percent Load	Standby
3 (1)	25%	1.0 (3.7)
	50%	1.4 (5.2)
	75%	2.0 (7.5)
	100%	2.8 (10.5)
Total Fuel Pump Flow (Combustion + Return) - gph (Lph)		
16.6 (63)		

* Fuel supply installation must accommodate fuel consumption rates at 100% load.

COOLING

Standby		
Coolant Flow	gpm (Lpm)	14.9 (56.2)
Coolant System Capacity	gal (L)	2.5 (9.5)
Heat Rejection to Coolant	BTU/hr (kW)	128,638 (136)
Inlet Air	scfm (m³/hr)	2,800 (4,757)
Maximum Operating Ambient Temperature	°F (°C)	122 (50)
Maximum Operating Ambient Temperature (Before Derate)	See Bulletin No. 0199280SSD	
Maximum Radiator Backpressure	in H ₂ O (kPa)	0.5 (0.12)

COMBUSTION AIR REQUIREMENTS

Standby
Flow at Rated Power scfm (m³/min)
88 (2.5)

ENGINE

Standby		
Rated Engine Speed	RPM	1,800
Horsepower at Rated kW**	hp	49
Piston Speed	ft/min (m/min)	1,181 (360)
BMEP	psi (kPa)	159 (1,096)

** Refer to "Emissions Data Sheet" for maximum bHP for EPA and SCAQMD permitting purposes.

Deration – Operational characteristics consider maximum ambient conditions. Derate factors may apply under atypical site conditions. Please contact a Generac Power Systems Industrial Dealer for additional details. All performance ratings in accordance with ISO3046, BS5514, ISO8528, and DIN6271 standards. Standby - See Bulletin 0187500SSB Prime - See Bulletin 0187510SSB

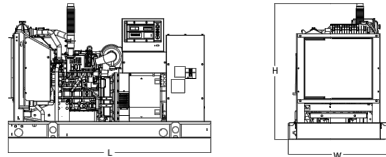
EXHAUST

Standby		
Exhaust Flow (Rated Output)	scfm (m³/min)	296.6 (8.4)
Max. Allowable Backpressure (Post Turbocharger)	inHg (kPa)	1.5 (5.1)
Exhaust Temp (Rated Output)	°F (°C)	892 (478)

SD030 | 2.2L | 30 kW
INDUSTRIAL DIESEL GENERATOR SET
EPA Certified Stationary Emergency

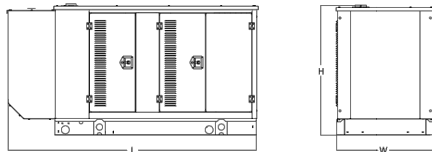


DIMENSIONS AND WEIGHTS*



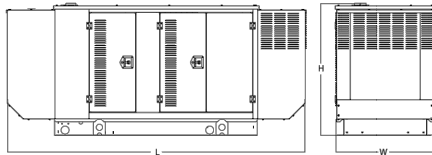
OPEN SET (Includes Exhaust Flex)

Run Time - Hours	Usable Capacity - Gal (L)	L x W x H - in (mm)	Weight - lbs (kg)
No Tank	-	76.0 (1,930) x 37.4 (950) x 44.8 (1,138)	1,641 (745)
19	54 (204)	76.0 (1,930) x 37.4 (950) x 57.8 (1,468)	2,121 (963)
47	132 (501)	76.0 (1,930) x 37.4 (950) x 69.8 (1,773)	2,351 (1,067)
75	211 (799)	76.0 (1,930) x 37.4 (950) x 81.8 (2,078)	2,560 (1,162)
107	300 (1,136)	92.9 (2,360) x 37.4 (950) x 81.8 (2,078)	2,623 (1,190)



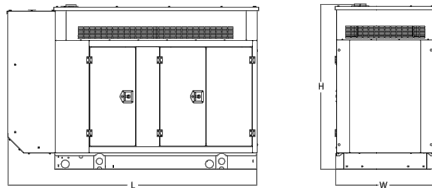
WEATHER PROTECTED ENCLOSURE

Run Time - Hours	Usable Capacity - Gal (L)	L x W x H - in (mm)	Weight - lbs (kg)	
			Steel	Aluminum
No Tank	-	94.8 (2,409) x 38.0 (965) x 49.5 (1,258)	372 (170)	241 (110)
19	54 (204)	94.8 (2,409) x 38.0 (965) x 62.5 (1,588)		
47	132 (501)	94.8 (2,409) x 38.0 (965) x 74.5 (1,893)		
75	211 (799)	94.8 (2,409) x 38.0 (965) x 86.5 (2,198)		
107	300 (1,136)	94.8 (2,409) x 38.0 (965) x 86.5 (2,198)		



LEVEL 1 ACOUSTIC ENCLOSURE

Run Time - Hours	Usable Capacity - Gal (L)	L x W x H - in (mm)	Weight - lbs (kg)	
			Steel	Aluminum
No Tank	-	112.5 (2,857) x 38.0 (965) x 49.5 (1,258)	505 (230)	338 (154)
19	54 (204)	112.5 (2,857) x 38.0 (965) x 62.5 (1,582)		
47	132 (501)	112.5 (2,857) x 38.0 (965) x 74.5 (1,893)		
75	211 (799)	112.5 (2,857) x 38.0 (965) x 86.5 (2,198)		
107	300 (1,136)	112.5 (2,857) x 38.0 (965) x 86.5 (2,198)		



LEVEL 2 ACOUSTIC ENCLOSURE

Run Time - Hours	Usable Capacity - Gal (L)	L x W x H - in (mm)	Weight - lbs (kg)	
			Steel	Aluminum
No Tank	-	94.8 (2,407) x 38.0 (965) x 61.1 (1,551)	510 (232)	341 (155)
19	54 (204)	94.8 (2,407) x 38.0 (965) x 74.1 (1,881)		
47	132 (501)	94.8 (2,407) x 38.0 (965) x 86.1 (2,186)		
75	211 (799)	94.8 (2,407) x 38.0 (965) x 98.1 (2,491)		
107	300 (1,136)	94.8 (2,407) x 38.0 (965) x 98.1 (2,491)		

* All measurements are approximate and for estimation purposes only. Specification characteristics may change without notice. Please contact a Generac Power Systems Industrial Dealer for detailed installation drawings.

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Part No. 10000024842
Rev. B 08/27/18

SPEC SHEET

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ISSUE	FINAL	
PHASE		

DATE ISSUED 04/05/2022

PROJECT TITLE:

PALMYRA
FA ID # 10103205

PROJECT INFORMATION:
1459 I JAMES MADISON HIGHWAY
PALMYRA, VA 22963

SHEET TITLE:

GENERAC 30KW GENERATOR
SPECIFICATIONS

SCALE: NONE

PROJECT NUMBER 53450
SHEET NUMBER E-4.2

SPEC SHEET

6 of 6

TTS Series
Switches

200 Amps
600 VAC

GENERAC®

INDUSTRIAL
POWER

TAS200

200A Automatic Transfer Switch

TAS200
TAS200
1 of 3 2 of 3

The Generac TAS200 Automatic Transfer Switch

- Flexibility for multiple application installations
- Multiple generator support with 3 source panel
- Designed with a 6 inch touch screen controller for improved user interface
- Camlock functionality for mobile generator sources



Image used for illustration purposes only.

Features

- STEEL CONSTRUCTION
- NEMA 3R ENCLOSURE WITH HINGED “PADLOCKING” DOORS
- STAINLESS STEEL HARDWARE
- CAMLOCK “QUICK CONNECT” CAPABILITY
- OPERATIONAL STATUS VIEW VIA 6 INCH TOUCH SCREEN
- TEST FUNCTION - FAST TEST & NORMAL TEST
- UL1008 LISTED - FOR EMERGENCY SYSTEMS

Optional Features

- EXTENDED WARRANTY
- THREE-PHASE VOLTAGE CONFIGURATIONS

Codes and Standards

Generac products are designed to the following standards:



UL1008,
UL508,
UL50,
CSA C22.2 No. 178



NEC 700, 701 and 702



NEMA 250

Application and Engineering Data

Cabinet Specifications	
Dimensions	24"W x 12"D x 48"H
Weight	210 lbs.
Construction	Single Chamber with Main Door
	Steel
	UL Type / NEMA 3R Rated
	Powder Coat Finish for Corrosion Resistance
	C-UL-US Listed - Automatic Transfer Switch
	Stainless Steel Hardware
Mounting Options	3-Point Latching System with Pad-Lockable Handles
	Wall
Installed	H-frame
	Pre-wired alarm terminal strip

Electrical Specifications	
Voltage/Phase/Amps	120/240 Single-Phase, 200A 120/208 3-Phase, 200A 120/240 3-Phase, 200A
Breaker	Eaton 200 amp Utility Breaker Eaton 200 amp Generator Breaker
Maximum RMS Symmetrical Fault Current - Amps	25k AIC Rated
Protective Device Continuous Rating (Max) Amp	200
Input to Generator	350MCM - #6 AWG
Output to Site	350MCM - #6 AWG
Generator Annunciator Connector	Deutsch DTM04-12PA-L012
Alarm Terminal Board	Generator Run Alarm
	Generator Fail – Shutdown Alarm
	Generator Fail – Non Shutdown Alarm
	Low Fuel Alarm
	Generator Theft Alarm
	AC Utility Fail Alarm

Camlock Component		
Camlock Component	Shipped loose for multiple installation options	
Dimensions	9" W x 9.4" D x 24.25" H	
200A Camlock Generator Connection	Single-Phase: Black L1, Red L2, White-Neutral, Green-Ground	
	3-Phase: Black L1, Red L2, Blue L3, White-Neutral, Green-Ground	
	Uses 4 CH E1016 Male Connectors	
	Mating Connector – CH E1016 Female	



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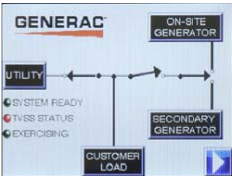
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PROJECT TITLE:		
PALMYRA FA ID # 10103205		
PROJECT INFORMATION: 14591 JAMES MADISON HIGHWAY PALMYRA, VA 22963		
SHEET TITLE:		
GENERAC ATS SPECIFICATIONS		
SCALE: NONE		
PROJECT NUMBER	53450	
SHEET NUMBER	E-5	

TTS Control Systems

TAS200

3 of 3

Touch Screen Interface



INDICATORS AND BUTTONS

<ul style="list-style-type: none">System Ready indicatorStandby Operating indicatorUtility Available indicatorGEN/UTIL Switch Position indicatorTVSS status	<ul style="list-style-type: none">Normal Test buttonFast Test buttonReturn to Normal buttonReset buttonExercising indicator
---	---

DETAILS SCREEN

<p>System Settings:</p> <ul style="list-style-type: none">System Voltage/Phases:<ul style="list-style-type: none">120/240V single phase (standard)120/208V three phase (optional)120/240V three phase (optional)Utility Fail Monitor:<ul style="list-style-type: none">Under Voltage: 75-95% of nominal voltageOver Voltage: 105%-125% of nominal voltagePickup (hysteresis): fixed at 5 voltsDelay time: 0-60sUtility Interrupt Delay: 0-60sReturn to Utility Timer: 1-30 minutesTransfer:<ul style="list-style-type: none">In-phase, orTime-Delay-Neutral at 0.0-10.0s in 1 second increments	<p>Exercise Settings:</p> <ul style="list-style-type: none">Time of dayDay of weekExercise:<ul style="list-style-type: none">Exercise with/without loadExercise once every 1, 2, or 4 weeks.Exercise time-of-dayExercise day of weekExercise duration: 15-30 minutes
	<p>Screen Settings:</p> <ul style="list-style-type: none">Brightness & Contrast buttonScreen Calibration buttonStartup/Clean screen
	<p>Diagnostics:</p> <ul style="list-style-type: none">Digital I/O bits statusVoltage A/D readings
<p>Engine Settings:</p> <ul style="list-style-type: none">Engine Warm-up timer: 0-20 minutesGenerator Load Accept:<ul style="list-style-type: none">Time-Delay-Neutral at 0.0-10.0s in 1 second incrementsVoltage: 85-95% of nominalFrequency: 85-95% of nominalEngine Minimum Run Timer: 5-30 minutesEngine Cooldown Timer: 0-20 minutes	<p>Mimic Diagram:</p> <ul style="list-style-type: none">System ReadyTransfer switch positionUtility availableStandby availableMaintenance/Auto switch positionGenerator source TS positionTVSS status



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GENERAC ATS SPECIFICATIONS

SCALE: NONE

PROJECT NUMBER	53450
SHEET NUMBER	E-5.1

**FLUVANNA COUNTY BOARD OF SUPERVISORS
AGENDA ITEM STAFF REPORT**

TAB D

MEETING DATE:	August 17, 2022				
AGENDA TITLE:	Career Development Certification Pay				
MOTION(s):	<p><u>Motion #1:</u> I move the Board of Supervisors approve the implementation of the Compensation Board's Career Development Certification Pay Plan for the offices of the Clerk of Circuit Court, the Treasurer and Commissioner of the Revenue, and removing the qualification of the position needing to be Compensation Board funded. The revised plan establishes that each Master's certified constitutional officer and staff member receive a 9.3% salary certification pay, with the amount to be determined by the Compensation Board annually and based on the minimum salary set for the respective staff position by the Compensation Board's annual "Classification and Pay Plan for Support Personnel" for each respective office, with a total estimated FY23 additional personnel cost to the County of \$15,393.</p> <p><u>Motion #2:</u> I move the Board of Supervisors approve a budget transfer of \$15,393 from the BOS contingency, with \$9,825 for the Clerk of the Circuit Court's office and \$5,568 for the Commissioner of the Revenue's office to implement the revised Career Development Certification Pay Plan.</p>				
STRATEGIC INITIATIVE?	Yes	No	If yes, list initiative(s):		
		X			
AGENDA CATEGORY:	Public Hearing	Action Matter	Presentation	Consent Agenda	Other
		X			
STAFF CONTACT(S):	Tristana Treadway, Master Circuit Court Clerk Mel Sheridan, Master Commissioner of the Revenue				
PRESENTER(S):	Tristana Treadway, Master Circuit Court Clerk Mel Sheridan, Master Commissioner of the Revenue				
RECOMMENDATION:	Approve				
TIMING:	Normal				
DISCUSSION:	<p>The State Compensation Board has approved Career Development Programs for each Constitutional Office. They are intensive, multi-year certification programs that award the designation of Master or Master Deputy to each staff member that completes the respective course and then continues to recertify annually. The Sheriff's and Commonwealth Attorney's offices each have established funding guidelines within Fluvanna for their respective Certification programs. This initiative attempts to also define the funding guidelines for certification pay for the Clerk's, Treasurer's and Commissioner's offices.</p> <p>The Comp Board directs that each certified Constitutional Office staff member receive 9.3% certification pay annually provided re-certification standards are met. The Comp Board provides funding for this certification pay to authorized positions on staff, but does not provide funds for additional staff positions that are non- Comp</p>				

	<p>Board funded, but approved by the Fluvanna BOS; there are currently 3 additional staff positions approved for the Clerk's Office and 1 for the Treasurer's Office.</p> <p>Under the County's current Personnel Policy, 2.8.5 Employee Learn and Earn Program, only Comp Board funded positions are eligible for certification pay as previously mentioned. The certification pay amount for Comp Board funded positions is based upon the approved salary amount by the Comp Board for the respective constitutional office, which may be less than the minimum on the "Classification and Pay Plan for Support Personnel". Non-Comp Board funded positions are not eligible under the County's current Personnel Policy, 2.8.5 Employee Learn and Earn Program, since the eligibility is tied to state funding.</p> <p>Recommend that the 9.3% certification pay be applied to the minimum salary established by the Comp Board for each authorized position within a constitutional office (see attached Comp Board Classification and Pay Plan). Any additional staff position authorized by Fluvanna to an office would be approved at 9.3% of the minimum staff salary on the respective Comp Board scale. Estimated additional personnel costs for FY23: Clerk's Office \$9,825; Commissioner's office \$5,568; Treasurer's Office \$0 with a total program cost of \$15,393.</p> <p>Recommend this approved certification pay become effective on the next regular pay date, if approved by the Board.</p> <p>Finally, each participating Constitutional Officer must certify annually to the HR Director which staff members have either certified or re-certified for that respective year so that the certification pay can be factored into the new fiscal year salary plans.</p>				
FISCAL IMPACT:	The FY23 BOS Contingency Budget will decrease by \$15,393, the Clerk of the Circuit Court's Office budget will increase by \$9,825 and the Commissioner of Revenue's Office will increase by \$5,568.				
POLICY IMPACT:	If approved, revisions to the County's Personnel Policy, 2.8.5 Employee Learn and Earn Program will be brought back to the Board.				
LEGISLATIVE HISTORY:	The State Compensation Board has offered Career Development Programs for Constitutional Officers and their staffs for approaching 20 years. They have established certification pay to accompany certification, but have not had the necessary funds allocated by the General Assembly to fully fund the respective programs. This initiative seeks to correct this funding shortfall for Fluvanna and fully fund the program for all constitutional office employees that complete and maintain Master and Master Deputy status.				
ENCLOSURES:	Constitutional Office's Classification and Pay Plan for Support Personnel				
REVIEWS COMPLETED:	Legal	Finance	Purchasing	HR	Other
		X		X	X

**CLASSIFICATION AND PAY PLAN FOR SUPPORT PERSONNEL OF THE CLERK OF CIRCUIT COURT
JULY 1, 2021 - JUNE 30, 2022**

CLASS TITLE	ABBREV	PAY BAND	ROLE	MIN	MAX*
MICROFILM TECHNICIAN	MT, MMT	1	Administrative	32,193	43,310
GENERAL OFFICE CLERK CLERK TYPIST II	GOC, MGOCTII, MCTII				
DEPUTY CLERK I CASHIER	DCI, MDCI CASH, MCASH	2	Sr. Administrative	32,193	52,925
BOOKKEEPER SENIOR CLERK TYPIST	BKKR, MBKKR SCT, MSCT				
ACCOUNTING TECHNICIAN DEPUTY CLERK II	AT, MAT DCII, MDCII	4	Professional	32,870	67,592
DEPUTY CLERK III	DCIII, MDC3				
ADMINISTRATIVE ASSISTANT	AA, MAA				
DEPUTY CLERK IV	DCIV, MDCIV	7	Sr. Professional	39,271	88,280
ACCOUNTANT	ACCT, MACCT				
ASSISTANT CHIEF DEPUTY	ACD, MACD				
CHIEF DEPUTY CLERK I	CDCI, MCDCI	8	Supervisory/ Management	51,062	134,838
COMPTROLLER	COMP, MCOMP				
CHIEF DEPUTY CLERK II	CDCII, MDC2				
CHIEF DEPUTY CLERK III	CDC3, MDC3				

* Per Code of Virginia, §15.2-1627.1B, the salary of any employee of a Constitutional Officer cannot exceed 90% of the salary of the Constitutional Officer.

**CLASSIFICATION AND PAY PLAN FOR SUPPORT PERSONNEL OF THE COMMISSIONER OF THE
REVENUE
JULY 1, 2021 - JUNE 30, 2022**

CLASS TITLE	ABBREV	PAY BAND	ROLE	MIN	MAX*
GENERAL OFFICE CLERK CLERK TYPIST	GC, MGC CT, MCT	1	Administrative	23,012	43,310
TAX EXAMINER I DEPUTY I SECRETARY I	TEI, MTEI DI, MDI SECI, MSECI				
DEPUTY II SECRETARY II	DII, MDII SECII, MSECII	2	Sr. Administrative	27,494	52,925
MAPPING TECHNICIAN	MT, MMT				
DEPUTY III ADMINISTRATIVE ASSISTANT	DIII, MDIII AA, MAA	4	Professional	32,870	67,592
DEPUTY IV	DIV, MDIV				
CHIEF DEPUTY I	CDI, MCDI	7	Sr. Professional	39,271	88,280
CHIEF DEPUTY II	CDII, MCDII				
CHIEF DEPUTY III	CDIII, MCD3	8	Supervisory/ Management	51,062	134,838
CHIEF DEPUTY IV	CDIV, MCDIV				

M - denotes participation in Deputy Commissioners Career Development Program

* Per Code of Virginia, §15.2-1627.1B, the salary of any employee of a Constitutional Officer cannot exceed 90% of the salary of the Constitutional Officer.

CLASSIFICATION AND PAY PLAN FOR SUPPORT PERSONNEL OF THE TREASURER
JULY 1, 2021 - JUNE 30, 2022

CLASS TITLE	ABBREV	PAY BAND	ROLE	MIN	MAX*
GENERAL OFFICE CLERK CLERK TYPIST II	GC, MGC CT, MCT	1	Administrative	23,012	43,310
FISCAL ASSISTANT DEPUTY I SECRETARY I	FA, MFA DI, MDI SECI, MSEC I				
DEPUTY II SECRETARY II	DII, MDII SECII, MSECII	2	Sr. Administrative	27,494	52,925
DEPUTY III ADMINISTRATIVE ASSISTANT	DIII, MDIII AA, MAA	4	Professional	32,870	67,592
DEPUTY IV	DIV, MDIV				
CHIEF DEPUTY I	CDI, MCDI	7	Sr. Professional	39,271	88,280
CHIEF DEPUTY II	CDII, MCDII				
CHIEF DEPUTY III	CDIII, MCD3	8	Supervisory/ Management	51,062	134,838
CHIEF DEPUTY IV	CDIV, MCDIV				

M - denotes participation in Deputy Treasurers Career Development Program

* Per Code of Virginia, §15.2-1627.1B, the salary of any employee of a Constitutional Officer cannot exceed 90% of the salary of the Constitutional Officer.

**FLUVANNA COUNTY BOARD OF SUPERVISORS
AGENDA ITEM STAFF REPORT**

TAB E

MEETING DATE:	August 17, 2022				
AGENDA TITLE:	Compression Pay Raise for Sheriff Deputies in Non-Compensation Board Positions				
MOTION(s):	I move the Board of Supervisors approve the compression pay for the three non-Compensation Board funded Deputy positions that qualify for the \$100.00 for each year of consecutive service over three years, which totals \$1,100.00 each year, with funding to come from the FY23 Personnel Contingency.				
STRATEGIC INITIATIVE?	Yes	No	If yes, list initiative(s):		
		X			
AGENDA CATEGORY:	Public Hearing	Action Matter	Presentation	Consent Agenda	Other
		X			
STAFF CONTACT(S):	Eric Hess - Sheriff				
PRESENTER(S):	Eric Hess - Sheriff				
RECOMMENDATION:	Approve				
TIMING:	Normal				
DISCUSSION:	<p>The 2022 General Assembly approved salary compression raises for Comp Board funded positions. Compensation Board funded sworn deputies/officers in sheriffs' offices and regional jails with three or more years of continuous service in a Compensation Board funded position in their current office will receive an additional pay raise on August 1, 2022, after all other increases have been implemented, to address salary compression based upon this service time. The salary compression pay raise will provide:</p> <ul style="list-style-type: none"> \$100 per full year of non-interrupted service in a Compensation Board funded position in the current office (as of 8/1/2022) for sworn sheriffs' deputies and regional jail officers with 3 or more years of service, up to a maximum of 30 years of service; Non-interrupted service time is consecutive time employed in a Compensation Board funded position with no more than a 30 day break in service. <p>Requesting the Board of Supervisors approve the compression pay for years of services as requested and presented.</p>				
FISCAL IMPACT:	Three Deputies that qualify for the Compression pay from the State that are not Comp Board funded positions would cost a total of \$1,100.00 each year.				
POLICY IMPACT:	N/A				
LEGISLATIVE HISTORY:	N/A				

ENCLOSURES:	<ul style="list-style-type: none">• Chart of Sheriff's Office Qualifying Years of Service• Compensation Board Letter				
REVIEWS COMPLETED:	Legal	Finance	Purchasing	HR	Other
		X		X	X



JEFFREY PALMORE
CHAIRMAN

ROBYN DE SOCIO
EXECUTIVE SECRETARY

CRAIG BURNS
STACI HENSHAW
EX-OFFICIO MEMBERS

COMMONWEALTH OF VIRGINIA

Compensation Board

P.O. Box 710
Richmond, Virginia 23218-0710

July 29, 2022

EMAIL MEMORANDUM

TO: Sheriffs and Regional Jail Superintendents

CC: Governing Bodies

FROM: Robyn M. de Socio, Executive Secretary

RE: August 1, 2022 Salary Increases including Final Compression Based Increase Amounts

I write to follow up on my communication dated July 7, 2022 and provide final information regarding the salary compression pay raise approved by the 2022 General Assembly, effective August 1, 2022, for sworn deputy sheriffs and regional jail officers.

As a reminder all Compensation Board funded sworn deputies/officers in sheriffs' offices and regional jails with three or more years of continuous service in a Compensation Board funded position in their current office will receive an additional pay raise on August 1, 2022, after all other increases have been implemented, to address salary compression based upon this service time. The salary compression pay raise will provide:

- \$100 per full year of non-interrupted service in a Compensation Board funded position in the current office (as of 8/1/2022) for sworn sheriffs' deputies and regional jail officers with 3 or more years of service, up to a maximum of 30 years of service;
- Non-interrupted service time is consecutive time employed in a Compensation Board funded position with no more than a 30 day break in service.

With your assistance, we have recently completed the review and verification process to identify hiring dates upon which the years of service will be calculated. Where additional documentation was provided and verification of time in a Compensation Board funded position was possible, we considered and approved time that extended to other offices where the deputy/officer also served in a Compensation Board funded position with no break in service. The review and verification process may have resulted in revised dates that either increased or reduced eligible service time.

A spreadsheet and instructions are attached that will allow you to review the final compression amounts to be funded, along with the amounts of all salary increases that are also effective August 1, 2022 for all elected sheriffs and all employees in sheriffs' offices and regional jails.

MEMO: Sheriffs and Regional Jail Superintendents
 July 29, 2022
 Page 2 of 2

Please let me know if you have any questions regarding this communication. Please contact the following Compensation Board Customer Service staff should you have further questions regarding the August 1, 2022 salary increases, including the compression amounts. Please also contact us if the spreadsheet file is missing from the file attachments to this communication, or if you need assistance in obtaining your office-specific spreadsheet file.

Bill Fussell, william.fussell@scb.virginia.gov; 804-225-3321
 Brian Bennett, brian.bennett@scb.virginia.gov; 804-225-3443
 Donna Foster, donna.foster@scb.virginia.gov; 804-225-3435

**Instructions for Review of August 1, 2022 salary increase amounts
 including Compression-based Salary Increases
 in Sheriffs' Offices and Regional Jails**

Please complete the review and certification using the following steps:

1. Click on the excel spreadsheet attachment.
2. Click on "Enable content" in the yellow security box on your screen.
3. Enter your Locality (FIPS) Code in the pop up box and respond to the question regarding access to view your positions and salary information.
4. You will be automatically prompted to save your own version of the file with your locality code. Choose the correct drive location where you can save your version of the file locally, and click "OK" to save the file to your computer. If you choose "Cancel" instead of "OK", you will need to save your specific file later. To do so, select "File", then "Save As", then select a drive on your computer where you can save your version of the file locally, and name the file using your locality (FIPS) code and the word "finalcompression2022" (e.g., Accomack County, locality 001, would save the file as **001-finalcompression2022.xlsx**).

The spreadsheet shows the following information for each of your Compensation Board funded positions in the columns as listed. Columns are:

- A. LOC - Locality (FIPS) Code or Cost Code – Federal Information Processing Standards associated with your locality, or cost code where no FIPS
- B. Locality – Locality or Regional Jail Name
- C. Position Number – Compensation Board position number as shown in COIN
- D. Classification – Compensation Board Classification as currently shown in COIN as of 7/26/22
- E. Last Name- Displayed in COIN
- F. First Name – Displayed in COIN
- G. Original hire Date – The earliest hire date into a Compensation Board funded position with no more than a 30 day break in service in the current locality; the original date distributed in the review process on July 7, 2022
- H. Modified Hire Date Considered – Modified date based upon additional documentation provided and additional review of hiring dates; where documentation was sufficient or verification was possible through existing records, the Compensation Board

agreed with dates provided by offices. Where verification was not possible due to the absence of available records, the original hiring date was maintained.

- I. Modified Hire Date Including Prior Service – An earlier date was considered where sufficient documentation verified prior service in a Compensation Board funded position in another office without a break in service.
- J. Confirmed Hire Date for Compression – the final hire date used to determine years of service for calculating the compression increase amount effective August 1, 2022.
- K. Eligible – indicates whether the position is eligible for the compression based increase.
- L. Change to Position or Incumbent – identifies where a change (submitted CB10) has occurred in the position since the original spreadsheet was provided on July 7, 2022.
- N. Whole Years of Service - Full years of service as of August 1, 2022
- O. Rate of Salary Increase for each Year of Service - \$100 (sworn deputies/officers)
- P. Compensation Board Base Salary – Current Compensation Board Salary displayed in COIN as of 7/26/22
- Q. Amount of automated regrade for designated grade 7 sworn deputy/officer positions on August 1, 2022.
- R. Amount of increase to bring sworn deputy/officer position to new minimum salary of \$42,000 on August 1, 2022.
- U. Amount of across-the-board increase provided for all positions on August 1, 2022 (2.5% or 5%, where applicable; excludes vacant sworn grade 7 positions, which will remain at the new entry-level salary of \$42,000).
- V. CB Base 8/1/2022 (including RBL and increase to new minimum of \$42,000 where applicable, and across-the-board 5% or 2.5% Salary Increase) based upon current salary as of 7/26/22.
- W. Estimated Base Salary Increase - Compression – Amount of compression increase based upon rate and whole years of service.
- X. Total CB Funded Base Salary at 8/1/22 after RBL and increase to new minimum where applicable, across-the-board increase, and compression increase – Projected Compensation Board Base salary effective August 1, 2022.

Note that the Total Compensation Board Funded Base Salary at 8/1/2022 is based upon personnel listed in the COIN system as of July 26, 2022, and is subject to change with additional CB10 personnel changes that may be added prior to August 1 or later with an effective date on or before August 1 by the sheriff's office or regional jail.

Please contact the following Compensation Board Customer Service staff should you need assistance with the hire date/compression raise review and certification process.

Bill Fussell, william.fussell@scb.virginia.gov; 804-225-3321
 Brian Bennett, brian.bennett@scb.virginia.gov; 804-225-3443
 Donna Foster, donna.foster@scb.virginia.gov; 804-225-3435

<u>Last Name</u>	<u>First Name</u>	<u>Middle Name</u>	<u>Comp or County Funded</u>	<u>Service Date OR CompBoard position</u>	<u>100.00 per year of Svc after 3 consecutive yrs.</u>
RENSCH	THOMAS	E	COMP funded POSITION	7/1/1998	\$2,400.00
HILL	VON		COMP funded POSITION	5/1/2002	\$1,700.00
AYERS	TREVAUGHN		COMP funded POSITION	7/1/2020	\$0.00
WOOD	PATRICK	T	COMP funded POSITION	7/31/2020	\$0.00
GOWER	CHARLES	E	COUNTY	6/21/2022	\$0.00
FIELDING-RIVERA	KENNETH	LOGAN	COMP funded POSITION	3/27/2021	\$0.00
MORRISON	RICHARD		COMP funded POSITION	9/16/2009	\$1,200.00
GATLIN	MARTHA	P	X	X	X
HESS	ERIC		COMP funded POSITION	0	\$0.00
FIELDING	HENRY	S	COMP funded POSITION	9/18/2006	\$1,500.00
HURD	AARON	C	COMP funded POSITION	2/3/2007	\$1,500.00
GREENE	JOSHUA	M	COMP funded POSITION	8/3/2006	\$1,500.00
HENSON	BARBARA	J	COUNTY - PT Position	8/18/2020	\$0.00
BARKER	JEFFREY	ALAN	COMP funded POSITION	6/5/2018	\$400.00
WORLEY	LEWIS	SWANSON	COMP funded POSITION	4/7/2009	\$1,300.00
BISHOP	FRANKIE	J	COMP funded POSITION	5/16/2008	\$1,400.00
MARTIN	CRAIG	O	COMP funded POSITION	11/21/2008	\$1,300.00
SHIFLETT	TIMOTHY	A	COMP funded POSITION	10/1/2012	\$900.00
BRENNAN	SEAN	P	COMP funded POSITION	1/29/2019	\$300.00
KOCZAN	LESLIE	A	COMP funded POSITION	7/6/2015	\$700.00
PETERSON	SEAN	LEE	COMP funded POSITION	4/28/2016	\$600.00
CULLEN	ALEXANDER	E	COUNTY	4/3/2017	\$500.00- County
CUSTER	THOMAS	S	COUNTY	9/4/2018	\$300.00- County
SEAY-ALLEN	JORDAN		COUNTY	8/5/2019	\$300.00- County
MAYS	STEPHEN	AUSTIN	COUNTY	9/16/2019	\$0.00
HERRING	JASON	S	COUNTY	12/30/2019	\$0.00
WRIGLEY	JOSHUA		COUNTY	12/30/2019	\$0.00
HOLMAN	AARON		COUNTY	4/30/2020	\$0.00
BECKER	JESSICA	M	X	X	X
STRONG	VIRGINIA	G	COUNTY	10/13/2020	\$0.00
COOK	CRAIG		COUNTY	2/1/2021	\$0.00
WHITE	WILLIAM	G	COUNTY	5/26/2021	\$0.00

NEAL	DIANA	G	COUNTY	7/6/2021	\$0.00
SCHOEN	EARL	G	COUNTY	7/6/2021	\$0.00
CRICKENBERGER	LARRY	B	COUNTY- PT Position	7/6/2021	\$0.00
HARRIS	FRANK	S	COUNTY	8/16/2021	\$0.00
ALLEN	JORDAN	J	COUNTY	9/13/2021	\$0.00
CAVENESS	QUINCY	SETH	COUNTY	12/6/2021	\$0.00
HERZOG	ALICIA		COUNTY	7/5/2021	\$0.00
WILLIAMS	ALEXANDER		COUNTY	1/18/2022	\$0.00
FORTH	TYLER		COUNTY	6/21/2022	\$0.00
CHARLES	GARREN		COUNTY	7/6/2022	\$0.00

FLUVANNA COUNTY BOARD OF SUPERVISORS AGENDA ITEM STAFF REPORT

TAB F

MEETING DATE:	August 17, 2022				
AGENDA TITLE:	Waiver to Administer an Existing Split Precinct				
MOTION(s):	I move the Board of Supervisors authorize Joyce Pace, General Registrar, to complete the procedures required by the Virginia Department of Elections for requesting the “Waiver to Administer an Existing Split Precinct” application for the November 2022 election.				
STRATEGIC INITIATIVE?	Yes	No	If yes, list initiative(s):		
AGENDA CATEGORY:	Public Hearing	Action Matter	Presentation	Consent Agenda	Other
		X			
STAFF CONTACT(S):	Joyce Pace, General Registrar				
PRESENTER(S):	Eric Dahl, County Administrator				
RECOMMENDATION:	Approve				
TIMING:	Normal				
DISCUSSION:	<p>The Code of Virginia, 24.2-307, requires the elimination of split precincts for elections held in November, 2022 and all subsequent elections. Fluvanna has one split district in the Cunningham District, near the Town of Scottsville – House Districts 55 and 56.</p> <p>Under the provisions of 24.2-307, localities are required to comply with the following:</p> <p style="padding-left: 40px;"><i>Each precinct shall be wholly contained within a single congressional district, Senate district, House of Delegates district, and election district used for the election of one or more members of the governing body or school board for the county or city. In each year ending in one, the governing body of each county and city shall establish the precinct boundaries to be consistent with any congressional district, Senate district, House of Delegates district, and local election district that was adopted by the appropriate authority by June 15 of that year. If congressional districts, Senate districts, House of Delegates districts, or local election districts have not been adopted by the appropriate authority by June 15 of a year ending in one, the governing body may use the congressional districts, Senate districts, House of Delegates districts, or local election districts as such districts existed on June 15 of that year as the basis for establishing the precinct boundaries to be used for the elections to be held in November of that year. Such governing body shall establish precinct boundaries to be consistent with any subsequent changes to the congressional districts, Senate districts, House of Delegates districts, or local</i></p>				

	<p><i>election districts. If a governing body is unable to establish a precinct with the minimum number of registered voters without splitting the precinct between two or more congressional districts, Senate districts, House of Delegates districts, or local election districts, it shall apply to the State Board for a waiver to administer a split precinct. The State Board may grant the waiver or direct the governing body to establish a precinct with fewer than the minimum number of registered voters as permitted by § 24.2-309. A governing body granted a waiver to administer a split precinct or directed to establish a precinct with fewer than the minimum number of registered voters may use such a precinct for any election held that year.</i></p> <p>The Department of Elections requires a copy of the minutes from a Board of Supervisors meeting, in which the governing body formally requests a waiver until such a time as redistricting can be completed.</p>				
FISCAL IMPACT:	None				
POLICY IMPACT:	None				
LEGISLATIVE HISTORY:	Virginia Code Section 24.2-307				
ENCLOSURES:	Official Advisory from the Department of Elections				
REVIEWS COMPLETED:	Legal	Finance	Purchasing	HR	Other



★ VIRGINIA ★
DEPARTMENT *of* ELECTIONS

Official ELECT Advisory

DATE: May 6, 2021

SUBJECT: Waiver to Administer an Existing Split Precinct

WHY THIS IS NEEDED: The Code of Virginia § [24.2-307](#) requires the elimination of split precincts for elections held in November, 2021 and all subsequent elections.

HOW THIS AFFECTS YOU: The governing bodies of localities are required to establish precincts that are wholly contained within a single congressional district, Senate district, House of Delegates district, and local election district. If a governing body is unable to establish a precinct with the minimum number of registered voters without splitting the precinct, it may apply for a waiver. Additionally, if precinct boundaries that are consistent with any Congressional district, Senate district, House of Delegates district, and local election district that will be adopted by the appropriate authority, cannot be established before the 60 day precinct change prohibition pursuant to § [24.2-306](#), a governing body may request a waiver.

ACTIONS NEEDED: As delegated by the State Board of Elections on March 31, 2021, ELECT has created a simple waiver application for localities to request to administer a split precinct(s), which the governing body **must** approve to apply for.

Once approved by the governing body, a general registrar can fill out the waiver application and attach the governing body's meeting minutes or resolution. A locality may only administer a split precinct for elections held in the year the waiver is granted.

The waiver application can be accessed here: (<https://fs28.formsite.com/vaelect/SplitWaiver/index.html>).

CONTACT: **For technical matters:**

Submit questions via JIRA ticket to the System Support Team

For all other matters:

Regions 1 & 3 (Tidewater & North Central) Zakia Williams:
Zakia.Williams@elections.virginia.gov; (804) 864-8954

Regions 2 & 5 (South Central & Northern) Taylor Melton:
Taylor.Melton@elections.virginia.gov; (804) 593-2274

Region 6 (Western) Garry Ellis:
Garry.Ellis@elections.virginia.gov; (804) 864-8910

Regions 4 & 7 (Southwest & Southern) Tanya Pruett:
Tanya.Pruett@elections.virginia.gov; (804) 864-8931

ADVISORY NUMBER:



CAB-530 - Waiver to Administer an Existing Split Precinct

PUBLISH ADVISORY

FLUVANNA COUNTY BOARD OF SUPERVISORS
AGENDA ITEM STAFF REPORT

TAB G

MEETING DATE:	August 17, 2022				
AGENDA TITLE:	VDOT Quarterly Report				
MOTION(s):	N/A				
STRATEGIC INITIATIVE?	Yes	No	If yes, list initiative(s):		
		X			
AGENDA CATEGORY:	Public Hearing	Action Matter	Presentation	Consent Agenda	Other
			XX		
STAFF CONTACT(S):	Eric Dahl, County Administrator				
PRESENTER(S):	Scott Thornton, VDOT Residency Administrator				
RECOMMENDATION:	Information Only				
TIMING:	Routine				
DISCUSSION:	Quarterly VDOT update.				
FISCAL IMPACT:	N/A				
POLICY IMPACT:	N/A				
LEGISLATIVE HISTORY:	N/A				
ENCLOSURES:	VDOT Quarterly Report				
REVIEWS COMPLETED:	Legal	Finance	Purchasing	HR	Other
					X

**FLUVANNA COUNTY
JULY 2022**

MAINTENANCE	
<p>The Palmyra and Zions Crossroads Area Headquarters for the month of July 2022.</p> <ul style="list-style-type: none"> • Repaired potholes /surface treatment prep on Routes 53, 601, 616. • Placed shoulder stone on various routes throughout the county. • Repaired drainage issue on Routes 6, 608, 620, 637. • Placed mail box stone for various secondary routes. • Performed incident response traffic control for high water (Route 640), mud in road (Route 6), down tree (Route 6). • Picked up Adopt A Highway bags for various primary and secondary routes. • Replaced entrance culvert pipes on Route 15. • Removed downed trees and limbs: storm debris Route 625. • Mowed various routes throughout the county. 	
LAND DEVELOPMENT & PERMITS	Mark Wood, P.E.
<p>Plans with outstanding comments or under review (Activity within last 90 days)</p> <ul style="list-style-type: none"> • Page Minor Subdivision Deep Creek Road, Review Underway • CVSI, Review Underway • Firefly 105500-A, Review Underway • Firefly 53-B, Review Underway • Firefly 62-C, Review Underway • Zion Crossroads Water & Sewer System Ph2, Review Underway <p>Plans found acceptable</p> <ul style="list-style-type: none"> • Scibilia Minor Subdivision • Christian Associates Contractors Storage Yard <p>Other</p> <ul style="list-style-type: none"> • None <p>LUP Permits Issued and Completed:</p> <ul style="list-style-type: none"> • VDOT issued 4 permits in July 2022. • VDOT closed 8 permits in July 2022. 	

CONSTRUCTION

Bridge Projects:

- **On-Call Bridge Maintenance Contract BRDG-967-457,N501 (UPC 115014) –**
Scope: Bridge Maintenance (Various locations)
Estimated Contract Completion Date: October 23, 2022 (Term 3)
- **BRDG-967-540, B607-B610 (UPC 120367) –** Recoat exsisting structure at Route 637 over Hardware River complete.
NTP: April 22, 2022
Scope: Steel spot painting
Estimated Contact Completion Date: Nov 15, 2022.

Road Projects:

- **ADA Compliance 9999-967-317, N01 (UPC 119781)** various locations. Contract executed 02-07-2022
NTP: Specific to task orders
Scope: On call ADA compliance
Estimated Contract Completion Date: January 01, 2023 (T1)
- **On-Call District Signal Contract 9999-967-527, C501 (119130)–** Various Locations
Scope: Specific to each Task order
Estimated Contract Completion Date: December 22, 2023 (T1)

Schedules:

- **ST7A-967-F22, P401 (UPC 119529)**
NTP: March 15, 2022
Scope: Plant Mix
Estimated Contract Completion Date: October 15, 2022
- **LM7A-967-F22, P401 (UPC 119727)**
Latex installation complete. Punchlist work in progress.
NTP: February 25, 2022
Scope: Plant Mix
Estimated Contract Completion Date: October 15, 2022
- **PM7T-967-F22, P401 (UPC 118882)**
NTP: March 30, 2022
Scope: Plant Mix
Estimated Contract Completion Cate: November 15, 2022

TRAFFIC STUDIES/ SPECIAL REQUESTS

- Marking requested on Route 659; passing zone.
Status: Full installation pending new 'small messages and signing' contract.
- Signage adjustment requested on Route 676; Center stop sign adjustment.
Installation request received on 6/13/2022
Status: Pending removal/installation.
- Signage installation requested on Route 604; Curve warning signs and chevrons between Route 601 and 610.
Request received on 4/25/2022 & updated on 6/25/2022
Status: Pending review.

**FLUVANNA COUNTY BOARD OF SUPERVISORS
AGENDA ITEM STAFF REPORT**

TAB H

MEETING DATE:	August 17, 2022				
AGENDA TITLE:	Adoption of the Fluvanna County Board of Supervisors July 6, 2022 Meeting Minutes.				
MOTION(s):	I move the meeting minutes of the Fluvanna County Board of Supervisors Regular Meeting on Wednesday, July 6, 2022, be adopted.				
STRATEGIC INITIATIVE?	Yes	No	If yes, list initiative(s):		
		X			
AGENDA CATEGORY:	Public Hearing	Action Matter	Presentation	Consent Agenda	Other
				XX	
STAFF CONTACT(S):	Caitlin Solis, Clerk to the Board				
PRESENTER(S):	Eric Dahl, County Administrator				
RECOMMENDATION:	Approve				
TIMING:	Routine				
DISCUSSION:	None.				
FISCAL IMPACT:	N/A				
POLICY IMPACT:	N/A				
LEGISLATIVE HISTORY:	N/A				
ENCLOSURES:	Draft Minutes for July 6, 2022.				
REVIEWS COMPLETED:	Legal	Finance	Purchasing	HR	Other
					X

FLUVANNA COUNTY BOARD OF SUPERVISORS
REGULAR MEETING MINUTES
Fluvanna County Library
214 Commons Blvd, Palmyra, VA 22963
July 6, 2022
Regular Meeting 5:00pm

MEMBERS PRESENT: John M. (Mike) Sheridan, Columbia District, Chair
Tony O’Brien, Rivanna District, Vice Chair
Mozell Booker, Fork Union District
Patricia Eager, Palmyra District
Chris Fairchild, Cunningham District (*participating via Zoom*)

ABSENT: None.

ALSO PRESENT: Eric M. Dahl, County Administrator
Fred Payne, County Attorney
Caitlin Solis, Clerk for the Board of Supervisors

1 - CALL TO ORDER, PLEDGE OF ALLEGIANCE, & MOMENT OF SILENCE

At 5:03pm, Chair Sheridan called to order the Regular Meeting of July 6, 2022. After the recitation of the Pledge of Allegiance, a moment of silence was observed.

3 - ADOPTION OF AGENDA

Mr. Dahl suggested moving item H - *Resolution Recognizing Joseph O'Connor– Eagle Scout* to action matters. Mr. Dahl presented a few agenda items to add to the agenda:
Resolution To Approve A Policy Permitting Board Members To Participate In Board Meetings Subject To Certain Conditions Pursuant To Virginia Code Section 2.2-3708.2, and Motion to Approve Participation In Board Meeting of July 6, 2022 Through Electronic Communication By Supervisor Fairchild to action matters, and *Sheehy Ford of Richmond, Inc. Purchase Agreement to new business.*

MOTION:	Accept the Agenda, for the July 6, 2022 Regular Meeting of the Board of Supervisors, as amended.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Motion	Second			
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

ACTION MATTERS

Resolution To Approve A Policy Permitting Board Members To Participate In Board Meetings Subject To Certain Conditions Pursuant To Virginia Code Section 2.2-3708. – Eric Dahl, County Administrator & Frederick Payne, County Attorney

- This resolution allows the Board to conduct meetings through electronic means if a board member is unable to attend due to disability or medical condition that prevents in-person participation or due to a personal matter and identifies the specific nature of the personal matter.
- Electronic participation is limited each calendar year to two meetings or 25 percent of the meetings held per calendar year rounded up to the next whole number, whichever is greater.

MOTION:	approve the “Resolution To Approve A Policy Permitting Board Members To Participate In Board Meetings Subject To Certain Conditions Pursuant to Virginia Code Section 2.2-3708”				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Second	Motion			
VOTE:	Yes	Yes	Abstain	Yes	Yes
RESULT:	4-0-1				

Motion to Approve Participation in Board Meeting of July 6, 2022 through Electronic Communication by Supervisor Fairchild – Eric Dahl, County Administrator & Frederick Payne, County Attorney

MOTION:	Approve the participation through electronic communication by Supervisor Fairchild in the Board meeting of July 6, 2022, and, in support thereof, hereby finds as follows: 1. That Supervisor Fairchild has notified the Chair that he is unable to attend the meeting due to a personal matter; 2. That such personal matter involved private, non-County business which necessitated a trip abroad to the Kingdom of Denmark;
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	<div>3. That Supervisor Fairchild had previously made arrangements to return in sufficient time for him to attend the meeting in person, but that he was unable to do so due to events beyond his control, i.e., a labor strike of the airline which would have returned him to Fluvanna County;</div> <div>4. That this will be the first occasion this calendar year on which Supervisor Fairchild shall have participated by electronic communications</div>				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O'Brien	Mr. Sheridan
ACTION:		Second		Motion	
VOTE:	Yes	Yes	Abstain	Yes	Yes
RESULT:	4-0-1				

4 - COUNTY ADMINISTRATOR’S REPORT

Mr. Dahl reported on the following topics:

- Announcements and Updates - New Employees
 - Charles Gower, Jr., Deputy Sheriff, Sheriff’s Office, Started June 22nd
 - Tyler Forth, Deputy Sheriff in Training, Sheriff’s Office, Started June 22nd
 - Garren Charles, Deputy Sheriff, Sheriff’s Office, Started July 6th
- The Library is having fun during Summer Reading this year, hosting adult and kids for workshops to make and experience:
 - Wooden Plant Pots
 - Beaded Wind Chimes
 - Solar Hot Dog Cookers & Solar S’mores Ovens
 - Fun Food Adventures with Mexican and Turkish snacks and candy. Some were more popular than others and the teens all agreed that they liked Turkish food better.
- The new Palmyra Village sign has been installed to invite tourists and locals to participate in self-guided walking tours and support the shops on Main Street.
- The Palmyra Village Streetscape TAP Grant project will improve pedestrian safety and accessibility to the historic court square including construction of 5' wide sidewalks, crosswalks, and curb ramps to provide pedestrian connectivity to the historic park from Main Street and Stone Jail Street/ Court Square.
 - Project Cost: \$1,589,156
 - Request Amount: \$1,271,325
 - Allocation\$1,271,325

Next BOS Meetings

Day	Date	Time	Purpose	Location
Wed	Aug 3	5:00 PM	Regular Meeting	Performing Arts Center
Wed	Aug 17	7:00 PM	Regular Meeting	Performing Arts Center
Wed	Sept 7	5:00 PM	Regular Meeting	Performing Arts Center

5 - PUBLIC COMMENTS #1

At 5:15pm, Chair Sheridan opened the first round of Public Comments.

- Corven Flynn, 319 Shiloh Church Rd, spoke in opposition to SUP 22:01 and asked the Board to rescind ZMP 22:02 and resubmit ZMP 22:02 and SUP 22:01.
- Cyndra Kerley, TM 17-15-X, questioned the validity of the June 15, 2022 BOS meeting and expressed concerns with the County’s communication and process.
- Valerie Palamountian, 17 Fleetwood Drive, spoke in opposition to SUP 22:01.
- Nancy Quantock, 19 Fleetwood Drive, spoke in opposition to SUP 22:01.
- Lynn Harrelson, 10 Fleetwood Drive, spoke in opposition of SUP22:01
- Tom Diggs, 947 Jefferson Drive, asked for SUP 22:01 to be deferred

With no one else wishing to speak, Chair Sheridan closed the first round of Public Comments at 5:34pm.

6 - PUBLIC HEARING

None.

7 - ACTION MATTERS

Resolution Recognizing Joseph O'Connor– Eagle Scout – Eric Dahl, County Administrator

MOTION:	Adopt the resolution entitled “Recognizing Joseph O'Connor for Award of Eagle Scout Status.”				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Second			Motion	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

Renewal of County Attorney Contract – Eric Dahl, County Administrator & Frederick Payne, County Attorney

- The county attorney serves at the pleasure of the board in accordance with an annual contract.
- This latest renewal leaves the “flat” monthly payment for routine services at \$10,000; the hourly rates for non-routine services are flat as follows:

Position	Prior	New
Frederick W. Payne, County Attorney	\$310	\$310
Donna R. DeLoria, Dep County Attorney	\$275	\$275
William W. Tanner, Dep County Attorney	\$255	\$255
Kristina M. Hofmann, Dep County Attorney	\$230	\$230
Jeremy L. Boggs, Assistant County Attorney	\$165	\$165
Paralegals	\$105	\$105
Assistants (when applicable)	\$ 75	\$ 75

MOTION:	Approve the renewal of the annual contract for County Attorney’s Services for Fiscal Year 2023, effective July 1, 2022, with no change in rates from FY22.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Second	Motion			
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

Compensation Study and Implementation Costs– Eric Dahl, County Administrator

- In November 2021, the board approved for staff to move forward with a comprehensive compensation and classification study, to provide recommendations to ensure that the County remains competitive in the marketplace and can continue to attract and retain a talented workforce at market rates.
- This included an overall evaluation of the County’s current grade structure, actual salaries compared with that of other relevant competitors and a recommended restructuring of the County’s compensation structure for administrative classifications and recommendations for implementing proposed changes.
- Baker Tilly was the consultant selected to perform the compensation and classification study.
- The last compensation and classification study approved by the Board of Supervisors was September 3, 2008.

The Compensation Study:

- One of the components of this study is to pull data from Public Peer Organizations to get a baseline of how Fluvanna’s current pay grade structure compares to its peers.
- Through Market Survey Results average minimums, average midpoints and average maximums were benchmarked. A benchmark was achieved if the position matched a number of comparable positions with the Public Peer Organizations, otherwise the benchmark received “Insufficient Data”.
- The Market Comparison compares Fluvanna’s current pay grade midpoints with the results of the Public Peer Organization midpoints to determine if a Fluvanna position midpoint was above, below or in line with others.
- In addition to the Market Comparison, Baker Tilly Utilized the Systematic Analysis and Factor Evaluation (SAFE®), which is a point factor evaluation process comprised of nine (9) compensable factors and was developed specifically for the measurement of local government positions.
- See the chart below:

Education	Human interaction	Independence of actions
Experience	Working conditions	Impact on the organization
Level of work	Physical demands	Supervision exercised

- The Market Comparison results provided the comparative data, based upon market midpoints, to create updated Pay Plans for General Government and Law Enforcement.
- Between using the Market Comparison, SAFE, internal equity and comparing our current pay grades, the Title and Pay Grade Assignments were created. The new Title and Pay Grade Assignment is important for if we need to hire new positions for the future and getting current positions up to market.

Board of Supervisors Minutes

July 6, 2022

- Once positions were placed on the Title and Pay Grade Assignments, this formed the basis for if individual employees are below or above the minimum for the Grade Assignments.
 - Once it was determined where individual positions/employees were in reference to the new Pay Grade Assignments, this then formed the Implementation Scenario costs for Options 1 through 5. One thing to keep in mind, the Implementation Scenario does not contain costs for taxes, VRS and workers compensation associated with the increased salaries. All Options in the motion contain those associated increased costs based upon a realistic and standard 20%.
 - In the FY23 Budget, the Board of Supervisors approved \$365K for implementation costs associated with the Compensation Study.
- After a lengthy discussion, by consensus of the Board of Supervisors, the subject was deferred to August 3, 2022.

MOTION:	Deferred until August 3, 2022 the Pay Plan for General Government and Law Enforcement as presented, the Title and Grade Assignments for General Government and Law Enforcement as presented and select Implementation Scenario for General Government and Law Enforcement: <ul style="list-style-type: none">• Option 1: Employees would move to the minimum of their new pay range if their existing salary were below their new minimum. Total Cost: \$48,966 salary and benefits• Option 2: Employees would receive the greater of moving to the minimum of their new pay range or a 2% increase to their existing salary. Total Cost: \$214,042 salary and benefits• Option 3: Employees would move to the minimum of their new pay range, plus receive a 3% increase to their existing salary. Total Cost: \$325,985 salary and benefits• Option 4: Employees would receive 0.5% for each year in their title (position), up to the maximum of their new pay range. Total Cost: \$329,868 salary and benefits• Option 5: Employees would maintain the same compa-ratio from the prior pay plan. Total Cost: \$840,404 salary and benefits				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:					
VOTE:					
RESULT:	BY CONSENSUS				

13 - CLOSED MEETING

MOTION:	At 6:59pm, move the Fluvanna County Board of Supervisors enter into a closed meeting, pursuant to the provisions of Section 2.2-3711 A.3, & A.5 of the Code of Virginia, 1950, as amended, for the purpose of discussing Real Estate – Fork Union Real Estate acquisition, and Prospective Industry – Prospective Business				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Second			Motion	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

MOTION:	At 8:24pm, move Closed Meeting be adjourned and the Fluvanna County Board of Supervisors convene again in open session and “BE IT RESOLVED, the Board of Supervisors does hereby certify to the best of each member’s knowledge (i) only public business matters lawfully exempted from open meeting requirements under Section 2.2-3711-A of the Code of Virginia, 1950, as amended, and (ii) only such public business matters as were identified in the motion by which the closed meeting was convened were heard, discussed, or considered in the meeting.”				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:		Second		Motion	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

Authorization to Advertise a Public Hearing on the Proposed Third Amendment to a Structure Lease Agreement with New Cingular Wireless PCS, LLC – Eric Dahl, County Administrator

- This proposed lease amendment is on a County-owned Monopole Tower.
- In this Third Amendment, the Tenant requests an amendment in order to enhance its wireless communication facility by adding a generator, which requires that the Tenant lease additional ground

space from the Landlord (the County) under the Lease in order to install the generator and related equipment.

- Per Virginia Code 15.2-734. Purchase, sale, exchange, or lease of real property, a public hearing is required for any disposition of County property.
- This amendment would increase the monthly rent by \$800/month, in addition to the annual 3% increase already established by the original agreement.

MOTION:	Authorize staff to advertise a Public Hearing to be held on August 17, 2022, for the proposed Third Amendment of the Structure Lease Agreement between Fluvanna County and New Cingular Wireless PCS, LLC, for the purposes of adding additional ground space in order to install a generator and related equipment.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O'Brien	Mr. Sheridan
ACTION:	Second	Motion			
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

FY23 School Resource Officer (SRO) Incentive Grant (Second Round) – Captain Von Hill, Fluvanna County Sheriff’s Office

- The Board of Supervisors consented for the Sheriff’s Office to apply for the SRO Grant funding earlier this year.
- The requested grants will fund two full-time SROs. The Officers will work directly with the Elementary School Principals, and other school system administration to promote a safer school environment through proactive efforts with the students and staff. The new SRO positions will augment the current SROs by assisting with the increased call volume of the SROs, while conducting safety and crime prevention activities throughout the entire school year. This position will promote a closer working relationship between students, parents, and the Office of the Sheriff. Grant funds will provide fringe and salary for the Officer assigned. The grant provides level funding up to 12 months. The grant does not require a match of any kind for the first term of the grant. The grant deadline for submission of an application is July 15, 2022.

MOTION:	Approve the application for the FY 23 School Resource Officer Grant Program and Fund administered by the Department of Criminal Justice Services in the amount of up to \$125,000.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O'Brien	Mr. Sheridan
ACTION:	Motion			Second	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

7A – BOARDS AND COMMISSIONS

None.

8 – PRESENTATIONS

Voting District Name Change – Kelly Harris, Assistant County Administrator

- At its April 20, 2022 meeting, the Board directed Staff to investigate the process by which the names of voting districts might be changed. The Palmyra District, as redrawn following 2020 Census and Redistricting, is no longer located near the village of Palmyra.
- Change is made by ordinance
 - Requires a public hearing
- Notifying Voters of Changes
 - Per Virginia Code §24.2-306, changes to voting precincts must take place not less than 60 days prior to an election. Early voting begins 45 days prior to the election.
 - Notice of changes must be mailed no later than 15 days prior to election.

Costs of Changing District Names

- Varies according to the number of district names changed.
 - # of Registered Voters per District (as of June 1, 2022):
 - ▶ Columbia: 3,802
 - ▶ Cunningham: 4,136
 - ▶ Fork Union: 3,998
 - ▶ Palmyra: 4,075
 - ▶ Rivanna: 4,579
- Postage: \$.55/letter (\$2,242 Palmyra District only; \$11,325 for all districts)
- Envelopes, paper, staff costs: TBD
- Legal ad (for public hearing): \$144 x 2
- Publication in newspaper of notice of change: \$115 x 2

- Tuesday, November 8, 2022: General Election
- Changes must be made 60 days prior to General Election: Friday, September 9, 2022
- Notices must be mailed 15 days prior to General Election: Monday, October 24, 2022

- The Board directed staff to bring the agenda item back after the November 2022 election.

Fluvanna – Albemarle Boundary Line Clarification – Fred Payne, Fluvanna County Attorney

- Mr. Payne gave a brief update on the process by which the legal boundary line between the counties of Fluvanna and Albemarle will be clarified.

- The Board directed staff to proceed with the boundary line clarification.

9 - CONSENT AGENDA

The following items were approved under the Consent Agenda for July 6, 2022:

- Minutes of June 15, 2022 – Caitlin Solis, Clerk to the Board
- VDOT Secondary Road Acceptance - Village Oaks – Douglas Miles, Community Development Director
- Virginia Department of Emergency Management FY24 E-911 PSAP Education Program Grant Award – Michael R. Grandstaff, Sheriff’s Office Staff; Sheriff Eric B. Hess, Sheriff
- CRMF - Mobile Radios for Schools and Departments – Don Stribling, FCPS
- CRMF - FCHS Tennis Courts – Don Stribling, FCPS
- CRMF - Court House Sound System – Dale Critzer, Assistant Director of Public Works
- Temporary Staff Stipend for Additional Duties – Tanner – Eric Dahl, County Administrator
- Tyler Technologies Software as a Service (SaaS) Agreement Amendment #3 – Donna Allen, Purchasing Officer
- FY22 Aid to Localities Funding – Fire Department – Tori Melton, Management Analyst/Acting Finance Director
- FY22 Voluntary Contributions – Tori Melton, Management Analyst/Acting Finance Director

MOTION:	Approve the consent agenda, for the July 6, 2022 Board of Supervisors meeting.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Second			Motion	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

10 - UNFINISHED BUSINESS

SUP 22:01 Johnston & Co LLC – Douglas Miles, Community Development Director

- SUP 22:01 Johnston & Co LLC – A Special Use Permit request in the B-1, General Business Zoning District to permit a contractor’s storage yard with respect to 6.4 +/- acres of Tax Map 17 Section 2 Parcel 2.
- The applicant is proposing to operate an electrical contracting business and he would not have any outside contracting storage or have contractor equipment stored outside in the storage complex.
- Applicant requested deferral until the August 17, 2022 meeting.

MOTION:	Defer until August 17, 2022, SUP 22: 01 Johnston & Co LLC a Special Use Permit request in the B-1, General Business Zoning District to permit a contractor’s storage yard with respect to 6.4 +/- acres of Tax Map 17 Section 2 Parcel 2 and subject to the eight (8) case conditions in the staff report.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:			Motion	Second	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

ZTA 21:03 R-4 Zoning District – Multi-family Dwellings from 2.9 to 5.5 Dwelling Units – Douglas Miles, Community Development Director

- ZTA 21:03 R-4 Zoning Text Amendment to permit Multi-family Dwellings, with a density up to 5.5 dwelling units per acre provided the property is within an area subjected to a common plan of development and such property is served by a central water and sewer system.
- Staff requested deferral until the second meeting in June 2023.

MOTION:	Defer until the second meeting in June 2023, ZTA 21:03 an ordinance to amend Chapter 22 Zoning of the Fluvanna County Code by the addition of a uses permitted by right use under 22-8-2.1 in the R-4 zoning district: multi-family dwellings, with a density up to 5.5 dwelling units per acre, provided the property is within an area subjected to a common plan of development and such property is served by a central water and sewer system.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan

ACTION:	Motion	Second			
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

11 - NEW BUSINESS

Sheehy Ford of Richmond, Inc. Purchase Agreement – Eric Dahl, County Administrator

- With supply chain issues making it difficult to source vehicles for the Sheriff’s Office, staff brought the opportunity to purchase vehicles to the Board as new business, rather than wait until the next meeting in August, fearing the emergency vehicles would not be available next month.

MOTION:	Approve the “2022 Ford F-150 Purchase Agreement” between Fluvanna County and Sheehy Ford of Richmond, Inc., for the purpose of purchasing four (4) 2022 F150 4X4 Crew Cab Police Responder Trucks as more specifically set forth in the agreement, at a total cost of \$143,620.80, and authorize the County Administrator to make revisions to the agreement in consultation with the County Attorney as may be appropriate and then to execute the final agreement, subject to approval as to form by the County Attorney				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:		Second		Motion	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

-Mrs. Booker asked the other members of the Board to visit the Fork Union Community Center to see its current condition and asked to revisit renovating the building, making it worthy of its dedication to her husband Jerome Booker.

MOTION TO EXTEND

- At 8:58pm, a motion was made to extend the Board of Supervisors meeting.

MOTION:	Approve a motion to extend the July 6, 2022 Regular Board of Supervisors meeting to 11:00pm.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:					
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

12 - PUBLIC COMMENTS #2

At 9:01pm, Chair Sheridan opened the second round of Public Comments.

- Corven Flynn, 319 Shiloh Church Rd, questioned the validity of the June 15, 2022 BOS meeting and spoke in opposition to SUP 22:01.
- Cyndra Kerley, TM 17-15-X, supported Mrs. Booker comments regarding the Fork Union Community Center condition. Also questioned the validity of the June 15, 2022 BOS meeting, specifically the process that allows remote participation in BOS meetings.

With no one else wishing to speak, Chair Sheridan closed the second round of Public Comments at 9:10pm.

13 - CLOSED MEETING

MOTION:	At 9:11pm, move the Fluvanna County Board of Supervisors enter into a closed meeting, pursuant to the provisions of Section 2.2-3711 A.1, & A.7 of the Code of Virginia, 1950, as amended, for the purpose of discussing Personnel – County Administrator performance evaluation, and Litigation – Actual litigation in connection with the Zion Crossroads water and sewer project.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Second			Motion	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

MOTION:	At 10:59pm, move Closed Meeting be adjourned and the Fluvanna County Board of Supervisors convene again in open session and “BE IT RESOLVED, the Board of Supervisors does hereby certify to the best of each member’s knowledge (i) only public business matters lawfully exempted from open meeting requirements under Section 2.2-3711-A of the Code of Virginia, 1950, as amended, and (ii) only such public business matters as were identified in the motion by which the closed meeting was convened were heard, discussed, or considered in the meeting.”				
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Board of Supervisors Minutes

MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Second			Motion	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

14 - ADJOURN

MOTION:	Adjourn the regular meeting of Wednesday, July 6, 2022 at 10:59pm.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Second			Motion	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

ATTEST:

FLUVANNA COUNTY BOARD OF SUPERVISORS

Caitlin Solis
Clerk to the Board

John M. Sheridan
Chair



BOARD OF SUPERVISORS
County of Fluvanna
Palmyra, Virginia

RESOLUTION No. 12-2022

**A Resolution to Take Streets in the Village Oaks Subdivision
into the Secondary System of Highways in Fluvanna County, Virginia**

At a regular meeting of the Board of Supervisors of Fluvanna County held at the Carysbrook Performing Arts Center at 5:00 PM on Wednesday, July 6, 2022, at which the following members were present, the following resolution was adopted by a majority of all members of the Board of Supervisors, the vote being recorded in the minutes of the meeting as shown below:

WHEREAS, the eligible streets described on the attached VDOT AM-4.3 form, fully incorporated herein by reference, are shown on plats recorded in the clerk’s office of the Circuit Court of Fluvanna County; and

WHEREAS, the streets described in the Village Oaks Subdivision have been developed in Fluvanna County and the developer has constructed the streets in accordance with the plans submitted to and approved by the Virginia Department of Transportation and the streets have been inspected by the Office of the Land Development Engineer and found to be acceptable in the State Highway System; and

NOW, THEREFORE BE IT RESOLVED, on this 6th day of July, 2022, that the Fluvanna County Board of Supervisors hereby requests that the Virginia Department of Transportation add the described roads listed on the attached VDOT AM-4.3 form to the Secondary System of State Highways of Fluvanna County pursuant to Section 33.2-705 of the Code of Virginia, as amended, and the Subdivision Street Requirements; and

BE IT FURTHER RESOLVED, that the Fluvanna County Board of Supervisors guarantees a clear and unrestricted right-of-way, and any necessary easements for cuts, fills, and drainage; and

BE IT YET FURTHER RESOLVED that a certified copy of this resolution be forwarded to the Land Development Engineer for the Virginia Department of Transportation.

THE FOREGOING RESOLUTION WAS DULY AND REGULARLY ADOPTED by the Fluvanna County Board of Supervisors at a regular meeting of the Board held on the 6th day of July, 2022:

SUPERVISORS	AYE	NAY	ABSTAIN	ABSENT	MOTION	SECOND
Mozell H. Booker, Fork Union District	X					X
Patricia B. Eager, Palmyra District	X					
Chris Fairchild, Cunningham District	X					
Anthony P. O’Brien, Rivanna District	X				X	
John M. Sheridan, Columbia District	X					

Attest:

John M. Sheridan, Chair
Board of Supervisors
Fluvanna County, Virginia



BOARD OF SUPERVISORS
County of Fluvanna Palmyra, Virginia
RESOLUTION No. 13-2021

A RESOLUTION RECOGNIZING
JOSEPH O'CONNOR
AWARD OF EAGLE SCOUT STATUS

The Fluvanna County Board of Supervisors adopted the following resolution on Wednesday, July 6, 2022:

WHEREAS, the Boy Scouts of America was incorporated by Mr. William D. Boyce on February 8, 1910; and

WHEREAS, the Boy Scouts of America was founded to promote citizenship, training, personal development and fitness of individuals; and

WHEREAS, Joseph O'Connor has completed all the requirements for becoming an Eagle Scout; and

WHEREAS, Joseph has been examined by an Eagle Scout Board of Review and deemed worthy of the Eagle Scout award; and

WHEREAS, Boy Scout Troop 154 convened an Eagle Scout Court of Honor on June 25, 2022 at 2:00 p.m. at Cunningham Methodist Church, Palmyra, Virginia; and

WHEREAS, the Fluvanna County Board of Supervisors fully supports the programs of the Boy Scouts of America and recognizes the important services they provide to the youth of our Country.

NOW, THEREFORE BE IT RESOLVED that the Fluvanna County Board of Supervisors joins Joseph's family and friends in congratulating him on his achievements, the award of Eagle Scout status and acknowledges the good fortune of the County to have such an outstanding young man as one of its citizens.

THE FOREGOING RESOLUTION WAS DULY AND REGULARLY ADOPTED by the Fluvanna County Board of Supervisors at a regular meeting of the Board held on the 6th day of July 2022, by the following vote:

SUPERVISORS	AYE	NAY	ABSTAIN	ABSENT	MOTION	SECOND
Mozell H. Booker, Fork Union District	X					X
Patricia B. Eager, Palmyra District	X					
Anthony P. O'Brien, Rivanna District	X				X	
John M. Sheridan, Columbia District	X					
Chris Fairchild, Cunningham District	X					

Attest:

John M. Sheridan, Chair
Board of Supervisors



BOARD OF SUPERVISORS
County of Fluvanna
Palmyra, Virginia

RESOLUTION No. 14-2022

**A RESOLUTION TO APPROVE A POLICY PERMITTING BOARD MEMBERS
TO PARTICIPATE IN BOARD MEETINGS SUBJECT TO CERTAIN CONDITIONS
PURSUANT TO VIRGINIA CODE SECTION 2.2-3708.2**

BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF FLUVANNA COUNTY, VIRGINIA, that the following policy be, and it is hereby, adopted pursuant to Virginia Code Section 2.2-3708.2, as follows:

A. The Board may conduct any meeting wherein the public business is discussed or transacted through electronic communication means if, on or before the day of a meeting, a member of the Board notifies the chair of the Board that:

1. Such member is unable to attend the meeting due to (i) a temporary or permanent disability or other medical condition that prevents the member’s physical attendance or (ii) a family member’s medical condition that requires the member to provide care for such family member, thereby preventing the member’s physical attendance; or
2. Such member is unable to attend the meeting due to a personal matter and identifies with specificity the nature of the personal matter. Participation by a member pursuant to this subdivision b is limited each calendar year to two meetings or 25 percent of the meetings held per calendar year rounded up to the next whole number, whichever is greater.

B. If participation by a member through electronic communication means is approved pursuant to subdivision A., the Board shall record in its minutes the remote location from which the member participated; however, the remote location need not be open to the public. If participation is approved pursuant to subdivision A.1., the Board shall also include in its minutes the fact that the member participated through electronic communication means due to (i) a temporary or permanent disability or other medical condition that prevented the member’s physical attendance or (ii) a family member’s medical condition that required the member to provide care for such family member, thereby preventing the member’s physical attendance. If participation is approved pursuant to subdivision A.2., the Board shall also include in its minutes the specific nature of the personal matter cited by the member.

If a member’s participation from a remote location pursuant to subdivision A.2. is disapproved because such participation would violate the policy adopted pursuant to subsection C, such disapproval shall be recorded in the minutes with specificity.

C. Participation by a member of the Board in a meeting through electronic communication means pursuant to subdivisions A 1 and 2 and subsection B shall be authorized only if the following conditions are met:

1. The Board approves such participation pursuant to this policy allowing for and governing participation of its members by electronic communication means, including the approval process for such participation, subject to the express limitations imposed by Section 15.2-3708.2, as the same shall be amended from time to time. This policy shall be applied strictly and uniformly, without exception, to the entire membership and without regard to the identity of the member requesting remote participation or the matters that will be considered or voted on at the meeting;
2. A quorum of the Board is physically assembled at one primary or central meeting location; and
3. The Board makes arrangements for the voice of the remote participant to be heard by all persons at the primary or central meeting location.

THE FOREGOING RESOLUTION WAS DULY AND REGULARLY ADOPTED by the Fluvanna County Board of Supervisors of Fluvanna County on this 6th day of July 2022.

	AYE	NAY	ABSTAIN	ABSENT	MOTION	SECOND
Mozell H. Booker, Fork Union District	X					X
Patricia B. Eager, Palmyra District	X				X	
Anthony P. O’Brien, Rivanna District	X					
John M. Sheridan, Columbia District	X					
Chris Fairchild, Cunningham District			X			

Attest:

John M. Sheridan, Chair
Fluvanna County Board of Supervisors

FLUVANNA COUNTY BOARD OF SUPERVISORS AGENDA ITEM STAFF REPORT

TAB I

MEETING DATE:	August 17, 2022				
AGENDA TITLE:	Adoption of the Fluvanna County Board of Supervisors August 3, 2022 Meeting Minutes.				
MOTION(s):	I move the meeting minutes of the Fluvanna County Board of Supervisors Regular Meeting on Wednesday, August 3, 2022, be adopted.				
STRATEGIC INITIATIVE?	Yes	No	If yes, list initiative(s):		
		X			
AGENDA CATEGORY:	Public Hearing	Action Matter	Presentation	Consent Agenda	Other
				XX	
STAFF CONTACT(S):	Caitlin Solis, Clerk to the Board				
PRESENTER(S):	Eric Dahl, County Administrator				
RECOMMENDATION:	Approve				
TIMING:	Routine				
DISCUSSION:	None.				
FISCAL IMPACT:	N/A				
POLICY IMPACT:	N/A				
LEGISLATIVE HISTORY:	N/A				
ENCLOSURES:	Draft Minutes for August 3, 2022.				
REVIEWS COMPLETED:	Legal	Finance	Purchasing	HR	Other
					X

FLUVANNA COUNTY BOARD OF SUPERVISORS
REGULAR MEETING MINUTES
Carysbrook Performing Arts Center
8880 James Madison Hwy, Fork Union, VA 23055
August 3, 2022
Regular Meeting 5:00pm

MEMBERS PRESENT: John M. (Mike) Sheridan, Columbia District, Chair
Tony O’Brien, Rivanna District, Vice Chair
Mozell Booker, Fork Union District
Patricia Eager, Palmyra District (*Mrs. Eager entered the meeting at 5:43pm*)
Chris Fairchild, Cunningham District

ABSENT: None.

ALSO PRESENT: Eric M. Dahl, County Administrator
Kelly Belanger Harris, Assistant County Administrator
Fred Payne, County Attorney
Caitlin Solis, Clerk for the Board of Supervisors

1 - CALL TO ORDER, PLEDGE OF ALLEGIANCE, & MOMENT OF SILENCE

At 5:03pm, Chair Sheridan called to order the Regular Meeting of August 3, 2022. After the recitation of the Pledge of Allegiance, a moment of silence was observed.

3 - ADOPTION OF AGENDA

Mr. Dahl requested agenda item I - *Minutes of July 6, 2022* be pulled from the agenda to be brought back at the August 17, 2022 meeting.

MOTION:	Accept the Agenda, for the August 3, 2022 Regular Meeting of the Board of Supervisors, as amended.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Motion			Second	
VOTE:	Yes	Absent	Yes	Yes	Yes
RESULT:	4-0				

4 - COUNTY ADMINISTRATOR’S REPORT

Mr. Dahl reported on the following topics:

Announcements and Updates - New Employee

- Mary Moreau, Human Resources Generalist, Human Resources, Started July 12th

2022 Fluvanna County Fair

- Parking attendants needed
 - Saturday, August 20, 2022 from 4pm - 11pm
 - The Fair Board is offering to pay individuals or a group.
 - Minimum of 5 adults (age 18+)
- Interested individuals or groups, please contact the Fair Board at fluvannafair@gmail.com for more information.
- Deadline to register is August 12.

Announcements and Updates

- On Tuesday, August 2, 2022, at approximately 5:30 AM, Dispatchers for the Fluvanna County Emergency Communications Center received a 911 call for a structure fire with an individual trapped inside.
- Deputies William White, Frank Harris and Jordan Seay-Allen responded to the call.
- Because of the heavy smoke, the three responding deputies had to make multiple entries before the eighty-three-year-old, immobile resident was able to be accessed and removed from the residence.
- They continued to render aid at great peril to their own safety, No other occupants were located inside.

- They completed the extrication and search shortly before the residence became engulfed in flames.

Spotlight on Business –

- Recent Ribbon Cuttings – August 2, 2022
 - 360 Health & Wellness, Shannon Miller, Nurse Practitioner, 5570 Richmond Road, Troy
 - Center Yourself Holistics, Megan Blevins, Massage Therapist, 5570 Richmond Road, Troy
- Congratulations to Fluvanna Businesses Celebrating 5 Years!
 - Local Eats, Amy Myers, Owner, 74 Joshua Lane, Palmyra
 - Sacred Acres Alpaca Farm, MaryJane Cathers, Owner, 16310 James Madison Hwy, Palmyra

Next BOS Meetings

Day	Date	Time	Purpose	Location
Wed	Aug 17	7:00 PM	Regular Meeting	Performing Arts Center
Wed	Sept 7	5:00 PM	Regular Meeting	Performing Arts Center
Wed	Sept 21	7:00 PM	Regular Meeting	Performing Arts Center

5 - PUBLIC COMMENTS #1

At 5:10pm, Chair Sheridan opened the first round of Public Comments.

- Valerie Palamoutian, 17 Fleetwood Dr., spoke in opposition to SUP 22:01, and asked ZTA 22:02 be rescinded.
- Corven Flynn, 319 Shiloh Church Rd., questioned the validity of the June 15, 2022 meeting, and asked the Board correct mistakes made leading up to ZTA 22:02 and SUP 22:01.

With no one else wishing to speak, Chair Sheridan closed the first round of Public Comments at 5:17pm.

6 - PUBLIC HEARING

None.

7 - ACTION MATTERS

Compensation Study and Implementation Costs – Eric Dahl, County Administrator & Donna Snow, HR Manager

- In November 2021, the Board approved for staff to move forward with a comprehensive compensation and classification study, to provide recommendations to ensure that the County remains competitive in the marketplace and can continue to attract and retain a talented workforce at market rates.
- This included an overall evaluation of the County’s current grade structure, actual salaries compared with that of other relevant competitors and a recommended restructuring of the County’s compensation structure for administrative classifications and recommendations for implementing proposed changes.
- Baker Tilly was the consultant selected to perform the compensation and classification study.
- The last compensation and classification study approved by the Board of Supervisors was September 3, 2008.

The Compensation Study:

- One of the components of this study is to pull data from Public Peer Organizations to get a baseline of how Fluvanna’s current pay grade structure compares to its peers.
- Through Markey Survey Results average minimums, average midpoints and average maximums were benchmarked. A benchmark was achieved if the position matched a number of comparable positions with the Public Peer Organizations, otherwise the benchmark received “Insufficient Data”.
- The Market Comparison compares Fluvanna’s current pay grade midpoints with the results of the Public Peer Organization midpoints to determine if a Fluvanna position midpoint was above, below or in line with others.
- In addition to the Market Comparison, Baker Tilly Utilized the Systematic Analysis and Factor Evaluation (SAFE®), which is a point factor evaluation process comprised of nine (9)

compensable factors and was developed specifically for the measurement of local government positions.

- Factors include:

Education	Human interaction	Independence of actions
Experience	Working conditions	Impact on the organization
Level of work	Physical demands	Supervision exercised

- The Market Comparison results provided the comparative data, based upon market midpoints, to create updated Pay Plans for General Government and Law Enforcement.
- Between using the Market Comparison, SAFE, internal equity and comparing our current pay grades, the Title and Pay Grade Assignments were created. The new Title and Pay Grade Assignment is important for if we need to hire new positions for the future and getting current positions up to market.
- Once positions were placed on the Title and Pay Grade Assignments, this formed the basis for if individual employees are below or above the minimum for the Grade Assignments.
- Once it was determined where individual positions/employees were in reference to the new Pay Grade Assignments, this then formed the Implementation Scenario costs for Options through 5. One thing to keep in mind, the Implementation Scenario does not contain costs for taxes, VRS and workers compensation associated with the increased salaries. All Options in the motion contain those associated increased costs based upon a realistic and standard 20%.
- In the FY23 Budget, the Board of Supervisors approved \$365K for implementation costs associated with the Compensation Study.

Option 3 and variations:

- Option 3, \$325,008 Total Cost with salary and benefits:
 - Employees would move to the minimum of their new pay grade, plus receive a 3% increase to their existing salary.
- Option 3a, \$371,178 Total Cost with salary and benefits:
 - Employees would move to the minimum of their new pay grade, plus receive a 3.5% increase to their existing salary.
- Option 3b, \$417,348 Total Cost with salary and benefits:
 - Employees would move to the minimum of their new pay grade, plus receive a 4% increase to their existing salary.
- Option 3c, \$509,688 Total Cost with salary and benefits:
 - Employees would move to the minimum of their new pay grade, plus receive a 5% increase to their existing salary.

Option 4 and variations:

- Option 4, \$328,806 Total Cost with salary and benefits:
 - Employees would move to the minimum of their new pay grade, plus receive 0.5% for each year in their current position, up to the maximum of their new pay range.
- Option 4a, \$372,596 Total Cost with salary and benefits:
 - Employees would move to the minimum of their new pay grade, plus receive 0.5% for each year in their current position, capped at 6% or a minimum of 3%.
- Option 4b, \$438,675 Total Cost with salary and benefits:
 - Employees would move to the minimum of their new pay grade, plus receive 0.5% for each year of service, capped at 6% or a minimum of 3%.
- Option 4c, \$314,873 Total Cost with salary and benefits:
 - Employees would move to the minimum of their new pay grade, plus receive 0.5% for each year in their current position, capped at 6% or a minimum of 2%.
- Option 4d, \$399,276 Total Cost with salary and benefits:
 - Employees would move to the minimum of their new pay grade, plus receive 0.5% for each year of service, capped at 6% or a minimum of 2%.

MOTION 1:	Approve the Pay Plan for General Government and Law Enforcement and the Title and Grade Assignments for General Government and Law Enforcement, as presented.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Motion		Second		
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

MOTION 2:	Approve and select Implementation Scenario for General Government and Law Enforcement: <u>Option 4a, \$372,596 Total Cost with salary and benefits:</u> <ul style="list-style-type: none">Employees would move to the minimum of their new pay grade, plus receive 0.5% for <u>each year in their current position</u>, capped at 6% or a minimum of <u>3%</u>.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O'Brien	Mr. Sheridan
ACTION:	Motion	Second			
VOTE:	Yes	Yes	No	No	Yes
RESULT:	3-2				

Clerk of The Circuit Court’s Office Certification Pay – Tristana Treadway, Master Circuit Court Clerk

- Requested the Board of Supervisors cover the Certification pay for the three non-compensation board positions which is \$2,994.00 each, beginning on July 1, 2022 for the three non-comp board positions, for a total of \$8,982.00.
- The Board deferred the agenda item until all positions in the constitutional offices affected and the total amounts are available.

MOTION:	Defer the Certification Pay for the Clerk of the Circuit Court’s Office for the three Non-Compensation Board funded positions, in the total amount of \$8,982.00 to be retroactive to July 1, 2022.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O'Brien	Mr. Sheridan
ACTION:		Second	Motion		
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

FY24 Budget Calendar – Tori Melton, Management Analyst/Acting Finance Director

- Tori Melton presented the Board of Supervisors with the fiscal year 2024 Budget Calendar.

MOTION:	Approve the FY24 Budget Calendar				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O'Brien	Mr. Sheridan
ACTION:	Motion	Second			
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

FY22 BOS Contingency Budget Transfer – County Attorney Budget – Eric Dahl, County Administrator

- The FY22 County Attorney budget is currently over-expended by \$38,628 through June 2022 for legal services.
- A budget transfer of \$38,628 from BOS Contingency is recommended in order to bring the County Attorney line under budget for FY22.
- If approved, this budget transfer will increase the FY22 County Attorney budget from \$230,000 to \$268,628.
- If approved, this budget transfer will decrease FY22 BOS Contingency from \$39,712 to \$1,084.

Fiscal Year County Attorney Costs:

FY16 - \$202,811
FY17 - \$271,879
FY18 - \$244,959*
FY19 - \$198,087*
FY20 - \$194,287*
FY21 - \$194,303*
FY22 - \$268,628*

*The costs above exclude costs specifically related to the Zion Crossroads Water and Sewer System project for real estate acquisition, contracting, legal concerns and litigation. Those costs are reflected in the Zion Crossroads enterprise fund budget.

MOTION:	Approve a budget transfer of \$38,628 from the FY22 BOS Contingency budget to the FY22 County Attorney budget for legal services.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Second	Motion			
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

Closed Landfill Environmental Monitoring Programs – APC Well Installation – Donna Allen, Purchasing Officer

- DEQ received the notification dated June 30, 2022, regarding the exceedance of a groundwater protection standard (GPS) for 1,1-dichloroethane (1,1-dca) during the first semi-annual sampling event of 2022.
- The notification was submitted by Draper Aden Associates/TRC, on behalf of the County as required under the Virginia, Solid Waste Management Regulations.
- As required, a facility’s notification must state whether they will perform an Alternate Source Demonstration or undertake the site characterization and assessment activities.
- As discussed with our Engineers at Draper Aden, the best course of action is to install a well under the Alternate Point of Compliance (APC) to address the GPS exceedance. The APC well must be installed down gradient of MW-9 and a depth consistent with the delineation requirements.
- Project agreement #11 (“PA11”) is to have Draper Aden perform services related to the installation of APC well #10 (but not the install itself as TASK 2 was removed from Project Agreement #11 per the terms thereof)
 - \$1,616.00 for all services or work on TASK 1 – Project Management;
 - \$3,227.00 for all services or work on TASK – 3A Field Services (Well Development and Surveying);
 - \$5,044.00 for all services or work on TASK 3B – Well Sampling;
 - \$3,632.00 for all services or work on TASK 4 – Well Completion Report;
 - \$3188.00 for all services or work on TASK 5 – APC Application; and
 - \$744.00 for all services or work on Task 6 – Public Notice Advertisement.
- Total not-to exceed expenditure under PA 11 with Draper Aden = \$17,451.00
- Timeline for Completion
 - for Task 1: on or before August 1, 2022;
 - for Task 2: on or before August 25, 2022 (Consultant will oversee and ensure that Davidson Drilling, Inc. meets this deadline);
 - for Task 3A: on or before August 29, 2022;
 - for Task 3B: on or before August 29, 2022;
 - for Task 4: on or before September 28, 2022;
 - for Task 5: on or before September 28, 2022; and
 - for Task 6 on or before November 12, 2022.
- APC Well install related to PA 11 by Davidson Drilling, Inc. under Well Contract for \$4,515 based on anticipated well depths of 60 feet. If well is required to be deeper, then cost will increase by \$53.00 per foot. If well is not required to be 60 foot, then the cost will decrease by \$53.00 per foot. Not to exceed \$10,000.

MOTION 1:	Approve Project Agreement #11 between Fluvanna County and Draper Aden Associates, LLC for project management, field services, well sampling, well completion reporting, the APC application, and assistance with public notice and advertisement related to Installation of the APC Well as more specifically set forth in Project Agreement #11 for a cost in an amount not to exceed \$17,451, and further authorize the County Administrator to execute the agreements subject to approval as to form by the County Attorney.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Second			Motion	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

MOTION 2:	Approve the Well Contract dated August 3, 2022, between Fluvanna County and Davidson Drilling, Inc. for drilling of an APC well of an anticipated depth of 60 foot, as an small emergency procurement under Virginia Code 2.2-4303(F) due to issues identified in the FY 2022 sampling by Draper Aden Associates at the Closed Landfill there is an immediate need to install an APC well owing to regulatory requirements and timeframes (including under 9 VAC 20-81-260) and guidance from DEQ, for a cost of \$4,515, which cost will be increase/decrease by \$53 per foot based on actual depth of well required, but in no event shall be more than \$10,000, and further authorize the County Administrator to execute the agreements subject to approval as to form by the County Attorney.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O'Brien	Mr. Sheridan
ACTION:	Second			Motion	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

Lake Monticello Fire and Rescue CIP Funding Request Change – Eric Dahl, County Administrator

- In the FY22 CIP Budget, the Board approved \$100K for partial funding of Lake Monticello Ambulance 554. Lake Monticello only needed \$100K from the County to replace the ambulance (it was in an accident), since they received around \$200K from the insurance claim. The \$100K to partial fund the ambulance replacement was coming out of debt proceeds, which requires the vehicle to be owned by the County. With Lake Monticello funding two-thirds of the ambulance replacement cost, they requested funding it another way.
- In the FY23 CIP Budget, the Board approved \$101,500 to replace Lake Monticello's Response 5, which was cash funded.
- It is being requested to switch the funding sources. The FY22 partial Ambulance 554 replacement for \$100,000 would be cash funded and the FY23 Response 5 for \$101,500 would be funded with debt proceeds and titled to the County. The \$1,500 differential to fund Response 5 out of debt proceeds would be covered by the interested earned on outstanding proceeds.

MOTION:	Approve a funding source change for Lake Monticello Fire & Rescue apparatus, changing FY22 Ambulance 554 funding of \$100,000 from debt proceeds to cash funded and changing FY23 Response 5 funding of \$101,500 from cash funded to debt proceeds.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O'Brien	Mr. Sheridan
ACTION:	Second	Motion			
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

JAUNT Annual Shareholders Meeting Proxy Designation – Eric Dahl, County Administrator

- After a brief discussion, the Board of Supervisors voted for Harold Morgan to be designated as the JAUNT Board proxy at the annual shareholders' meeting.

MOTION:	Approve the designation of Harold Morgan to act as proxy for the governing body at the Jaunt annual shareholders' meeting on October 12, 2022.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O'Brien	Mr. Sheridan
ACTION:	Second			Motion	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

7A – BOARDS AND COMMISSIONS

None.

8 – PRESENTATIONS

MACAA Update – Sarah Hanks, Executive Director, MACAA, Bertha Armstrong, MACAA Rural Outreach Director, & Ryant Washington, MACAA Board Member

Sarah Hanks gave the Board of Supervisors an FY22 update to the MACAA program in Fluvanna County including

- 487 Families served with utility support
- 148 families supported with emergency assistance program
- MACAA has invested \$120, 000 in direct client services
- 861 households served by the food pantry
- 20 children served in the Head Start program
- Project Discovery works with the high school by training students in trades that will help students earn a living wage within six months of graduation.
- MACAA is transitioning the thrift shop to an indoor pantry.
- The drive through food pantry has served approximately 69,000lbs of food to Fluvanna families each year
- By transitioning the food pantry from a drive through model to an indoor “shopper’s choice” model, the food pantry will give clients more choice in the foods received and reduce food waste.

The Board requested staff look into scheduling non-profits throughout the year to give update presentations, as opposed to all of the meetings being scheduled during budget season.

9 - CONSENT AGENDA

The following items were discussed before approval:

I - *Minutes of July 6, 2022* – Caitlin Solis, Clerk to the Board

The following items were approved under the Consent Agenda for August 3, 2022:

- *Amendment to and Adoption of the Fluvanna County Board of Supervisors June 15, 2022 Meeting Minutes* – Caitlin Solis, Clerk to the Board
- *Accounts Payable Report for June 2022* – Tori Melton, Acting Finance Director
- *VDH Septic and Well Assistance Program (SWAP) Letter of Support* – Kim Hyland, Director of Fluvanna-Louisa Housing Foundation
- *CRMF – Convenience Center Well #9* – Dale Critzer, Assistant Director of Public Works
- *Historical Structures Report Contract and 1st Amendment to the Contract* – Donna Allen, Purchasing Officer
- *Phone System Maintenance for E911 - Amendment to the End-User Agreement With Centurylink Communications, LLC* – Donna Allen, Purchasing Officer
- *Closed Landfill Environmental Monitoring Programs* – Donna Allen, Purchasing Officer

MOTION:	Approve the consent agenda, for the August 3, 2022 Board of Supervisors meeting, and to ratify Accounts Payable and Payroll for June 2022, in the amount of \$1,746,781.87.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Motion			Second	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

10 - UNFINISHED BUSINESS

- Mrs. Booker brought up the proposed renovations to the Fork Union Community Center.

11 - NEW BUSINESS

None.

12 - PUBLIC COMMENTS #2

At 8:07pm, Chair Sheridan opened the second round of Public Comments.

- Suzy Morris, 6840 Thomas Jefferson Pkwy, discussed maintaining the rural character of Fluvanna County, and called for architectural review and buffers in the entrance corridors to Fluvanna County.
- Corven Flynn, 319 Shiloh Church Rd, commented on the June 15, 2022 meeting minutes and stated his concerns with the use of the word “funeral” being used to contextualize Mr. O’Brien’s absence.

Mr. Obrien asked to have the record show that he did request in advance of the July 15, 2022 meeting to be excused from attending in person, and sent the request to staff and the county attorney, and was told he could attend virtually. Because he was not in attendance, he passed the gavel to Mrs. Booker. He then attended the meeting from his car on his way to Scranton, PA to attend his Uncle’s Funeral.

- Donna Daguanno, 148 Crape Myrtle Dr, commented on missteps taken by the County in rezoning projects throughout the year.

With no one else wishing to speak, Chair Sheridan closed the second round of Public Comments at 8:22pm.

13 - CLOSED MEETING

MOTION:	At 8:22pm, move the Fluvanna County Board of Supervisors enter into a closed meeting, pursuant to the provisions of Section 2.2-3711 A.3, A.5, & A.7 of the Code of Virginia, 1950, as amended, for the purpose of discussing Real Estate – Fork Union Real Estate Acquisition, Prospective Industry – Prospective Business, Litigation – Quigley Properties, LLC and the Zion Crossroads Water and Sewer Project				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Second			Motion	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

MOTION:	At 10:22pm, move Closed Meeting be adjourned and the Fluvanna County Board of Supervisors convene again in open session and “BE IT RESOLVED, the Board of Supervisors does hereby certify to the best of each member’s knowledge (i) only public business matters lawfully exempted from open meeting requirements under Section 2.2-3711-A of the Code of Virginia, 1950, as amended, and (ii) only such public business matters as were identified in the motion by which the closed meeting was convened were heard, discussed, or considered in the meeting.”				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Second			Motion	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

MOTION TO EXTEND

- At 10:24pm, a motion was made to extend the Board of Supervisors meeting.

MOTION:	Approve a motion to extend the August 3, 2022 Regular Board of Supervisors meeting to 11:00pm.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:		Second		Motion	
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

The Board of Supervisors discussed the participation of Mr. O’Brien in the June 15, 2022 meeting. The Board has a participation by electronic means policy adopted March 18, 2020, since the policy was in effect at the time, the June 15, 2022 meeting was in order.

MOTION:	Approve the following statement: The Board of Supervisors has reviewed the actions of the June 15, 2022 meeting and finds that the actions it took at such meeting to be proper and lawful.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:		Second	Motion		
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

MOTION:	Adjourn the regular meeting of Wednesday, August 3, 2022 at 10:30pm.				
MEMBER:	Mrs. Booker	Mrs. Eager	Mr. Fairchild	Mr. O’Brien	Mr. Sheridan
ACTION:	Motion	Second			
VOTE:	Yes	Yes	Yes	Yes	Yes
RESULT:	5-0				

ATTEST: FLUVANNA COUNTY BOARD OF SUPERVISORS

Caitlin Solis
Clerk to the Board

John M. Sheridan
Chair

DRAFT



Capital Reserve Maintenance Fund Request

TAB J

MOTION: I move that the Board of Supervisors approve a Capital Reserve Maintenance Fund Request in the amount of **\$10,560.00** for the purpose(s) of:
purchasing 3 HVAC chiller fans for Central Elementary.

Section 1 - REQUEST

Requesting Department/Agency FCPS	Dept/Agency Contact Don Stribling	Date of Request 08/08/2022	
Phone (434) 589-5948	Fax (434) 589-5393	Fiscal Year FY23	
Reserve Fund Purpose Category: Failure of equipment after warranty expiration but before expected lifecycle			
Description of Project/Repair	Qty	Unit Price	Total Price
HVAC Chiller Fan, Motor and EC Assembly	3	\$3,520.00	\$10,560.00
			\$0.00
			\$0.00
			\$0.00

Total Request: **\$10,560.00**

Description and justification for proposed use.

Three different HVAC chiller fans have gone bad at Central Elementary. There is currently no warranty left on any of the fans and all three need to be replaced in order for the unit to run efficiently and effectively.

Department/Agency Head Name Don Stribling	Signature Don Stribling <small>Digitally signed by Don Stribling DN: cn=Don Stribling, o=FCPS, ou=FCPS, email=dstribling@apps.fluco.org, c=US Date: 2018.08.21 13:12:45 -04'00'</small>	Date 08/08/2022
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Section 2 - REVIEW

Recommended? <input type="checkbox"/> Yes <input type="checkbox"/> No	County Finance Director Victoria Melton <small>Digitally signed by Victoria Melton Date: 2022.08.10 13:49:23 -04'00'</small>	Date 08/10/2022
Recommended? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	County Administrator Eric Dahl <small>Digitally signed by Eric Dahl Date: 2022.08.10 15:03:52 -04'00'</small>	Date

Section 3 - BOARD OF SUPERVISORS

Approved? <input type="checkbox"/> Yes <input type="checkbox"/> No	Decision Date	Comments
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Capital Reserve Maintenance Fund Request

TAB K

MOTION: I move that the Board of Supervisors approve a Capital Reserve Maintenance Fund Request in the amount of **\$6,408.00** for the purpose(s) of:

Additional contracted work needed to complete Public Safety Building 5 ton heat pump upgrade to meet code and manufacturers specifications

Section 1 - REQUEST

Requesting Department/Agency Public Works PW23-001	Dept/Agency Contact Dale Critzer	Date of Request 07/05/2022
Phone (434) 591-1925	Fax (434) 591-1924	Fiscal Year FY23

Reserve Fund Purpose Category: **Ongoing facility or equipment maintenance requirements**

Description of Project/Repair	Qty	Unit Price	Total Price
50 amp breaker/ wire install and up-size refrigerant line set and test	1	\$6,408.00	\$6,408.00
			\$0.00
			\$0.00
			\$0.00

Total Request: **\$6,408.00**

Description and justification for proposed use.

Upgraded items were needed for the new 5 ton heat pump (3 ton previous) upgrade to pass building code and operate efficiently per manufacturers specifications . New 50 amp breaker and #8 wire were installed and the refrigerant lines had to be upgraded to manufacturers specifications .

Department/Agency Head Name Assistant Director of Public Works	Signature Dale Critzer <small>Digitally signed by Dale Critzer Date: 2022.07.05 15:13:09 -04'00'</small>	Date 07/05/2022
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Section 2 - REVIEW

Recommended? <input type="checkbox"/> Yes <input type="checkbox"/> No	County Finance Director Victoria Melton <small>Digitally signed by Victoria Melton Date: 2022.08.11 13:14:03 -04'00'</small>	Date 08/11/2022
Recommended? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	County Administrator Eric Dahl <small>Digitally signed by Eric Dahl Date: 2022.08.11 13:30:24 -04'00'</small>	Date

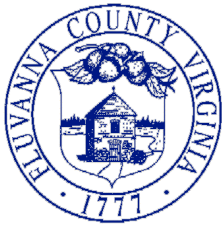
Section 3 - BOARD OF SUPERVISORS

Approved? <input type="checkbox"/> Yes <input type="checkbox"/> No	Decision Date	Comments
---	---------------	----------

FLUVANNA COUNTY BOARD OF SUPERVISORS AGENDA ITEM STAFF REPORT

TAB L

MEETING DATE:	August 17, 2022				
AGENDA TITLE:	SUP 22:01 Johnston & Co LLC				
MOTION(s):	I move that the Board of Supervisors (approve/deny/defer) SUP 22:01 Johnston & Co LLC a Special Use Permit request in the B-1, General Business Zoning District to permit a contractor's storage yard with respect to 6.4 +/- acres of Tax Map 17 Section 2 Parcel 2 and subject to the eight (8) case conditions in the staff report.				
STRATEGIC INITIATIVE?	Yes	No	If yes, list initiative(s):		
		X			
AGENDA CATEGORY:	Public Hearing	Action Matter	Presentation	Consent Agenda	Other
		X			
STAFF CONTACT(S):	Douglas Miles, Community Development Director				
PRESENTER(S):	Douglas Miles, Community Development Director				
RECOMMENDATION:	At its meeting on May 10, 2021, the Planning Commission recommended Approval of SUP 22:01 Johnston & Co LLC (4-0); Mr. Zimmer moved to recommend Approval and Mrs. Murray-Key seconded. AYES: Bibb, Zimmer, Lagomarsino and Murray-Key.				
DISCUSSION:	The applicant has provided an additional screening graphic to show white vinyl fence panels and evergreen plantings and he will be able to explain the designed screening.				
TIMING:	Normal Public Hearing review process				
POLICY IMPACT:	N/A				
LEGISLATIVE HISTORY:	Review of a proposed Special Use Permit in accordance with Chapter 22, Article 20 of the Fluvanna County Code Zoning Ordinance. The Planning Commission reviewed this SUP case request on May 10, 2022 through the Public Hearing review process. The Board of Supervisors reviewed this request through the Public Hearing process, and Closed the Public Hearing and they deferred this zoning case onto July 6, 2022. The Board deferred this request on July 6th to the August 17, 2022 Regular meeting.				
ENCLOSURES:	Johnston & Co LLC Staff Report				
REVIEWS COMPLETED:	Legal	Finance	Purchasing	HR	Other
	X				



COUNTY OF FLUVANNA

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(434) 591-1910
Fax (434) 591-1911
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BOARD OF SUPERVISORS STAFF REPORT

To: Fluvanna County Board of Supervisors
Request: Contractor's Storage Yard

From: Douglas Miles, AICP, CZA
District: Cunningham Election District

General Information:

This Special Use Permit (SUP) request was deferred from the June 15, 2022 Board of Supervisors and the Public Hearing was closed to the July 6, 2022 Board meeting. It was deferred once again to the August 17, 2022 Board of Supervisors meeting.

Owner/Applicant:

Johnston & Co LLC / Cory Johnston, Owner

Note: The applicant has only provided an additional screening graphic to show white vinyl fence panels and evergreen plantings.

Representative:

Shimp Engineering / Justin Shimp, PE

Requested Action:

SUP 22:01 Johnston & Co LLC – A Special Use Permit request in the B-1, General Business Zoning District to permit a contractor's storage yard with respect to 6.4 +/- acres of Tax Map 17 Section 2 Parcel 2. The subject property is located 900 feet north of the Route 53 and Turkeysag Trail intersection and is adjacent to the UVA Community Credit Union in the Rivanna Community Planning Area and the Cunningham Election District.

Existing Zoning:

A-1, General Agricultural Zoning District

Proposed Zoning:

B-1, General Business Zoning District

Existing Land Use:

Vacant

Applicant Summary:

The applicant owns an electrical contracting company and is seeking to establish a contractor's storage yard, to operate his electrical contracting business on-site with a proposed 1,000 square feet of office space for his business and potentially another office space tenant. The applicant plans to construct approximately 60,000 square feet of self-storage space on the premises. The site design proposes the required landscaping along the Route 53 frontage and along the adjacent properties that are zoned R-4, Lake Monticello to the rear and A-1, General Agricultural to north of the site to provide the required landscaped buffer area for this proposed, commercial land use.

Transportation Planning:

The applicant proposes a full access entrance onto Route 53 that has been reviewed by VDOT for the proposed B-1 land uses of self-storage facilities, an office building and then a specialty trade contractor under the ITE Trip Generation, 10th edition manual. The new vehicle trips generated by the applicant's proposed uses would not be a significant impact on a major corridor like Route 53 that experiences an average daily volume of 4,900 trips. The proposed site is located adjacent to one of the commercial shopping center areas on Turkeysag Trail at the Falcon Hills gate into the Lake Monticello development at its intersection with Thomas Jefferson Parkway (Route 53).

Comprehensive Plan:

Land Use Chapter:

The Comprehensive Plan designates this property as within the Rivanna Community Planning Area which makes up approximately 40 percent of the county's population and mainly in the Lake Monticello community. The Rivanna Community Planning Area is the most developed area in the county and it contains a mixture of residential and commercial uses. Medium and small commercial uses, along with office, civic and residential uses all combine to form a series of neo-traditional developments that are all interconnected with surrounding commercial development.

Analysis:

The proposed land use request is classified as a Contractor's storage yard and it is defined in the Zoning Ordinance as: *Storage yards operated by, or on behalf of, a contractor for storage of large equipment, vehicles, or other materials commonly used in the individual contractor's type of business; storage of materials used for repair and maintenance of contractor's own equipment; and buildings or structures for uses such as offices and repair facilities.*

When evaluating proposed uses for a special use permit, in addition to analyzing the potential adverse impacts of the use, staff utilizes two (2) general guidelines for evaluation as set forth in the zoning ordinance. First, the proposed land use should not tend to change the character and established pattern of the area or community. The proposed contractor's storage yard is a land use that will involve an electrical contractor operating his business from this location and it is located in a commercial area along with the proper storage building space for his equipment.

This proposed use will provide the proper transition between the commercial shopping center and the surrounding residential homes and a remaining agricultural parcel located to the north. County Staff has worked with the applicant and his engineering consultant to further restrict the *contractor's storage yard* land use request to be more of a Contractor's storage use through the recommended Special Use Permit conditions relative to outside storage and overall site design.

Second, the proposed use should be compatible with the uses permitted by right in that zoning district and shall not adversely affect the use of or the value of neighboring property. The case applicant has been searching for a proper business location and he also wanted to own the space where he is storing his contractor supplies and maintaining an office to perform paperwork and scheduling of the electrical contracting work to be performed in Palmyra and within the region.

The recommended Special Use Permit conditions relative to outside storage and the overall site design along with the Zoning Ordinance requirements relative to site landscaping and screening will properly buffer and screen the self-storage facility and contractor's storage yard from the adjacent properties. The Fluvanna County Zoning Ordinance does not require that B-1 land uses be buffered and screened from one another along common property lines as is done between both A-1 and R-4 zoned properties. The applicant he has added a proffered condition that will address the front façade along the Route 53 corridor to be aesthetically pleasing with brick or stone work. County staff believes that the applicant has addressed the community's design concerns that were expressed during the May 10th Planning Commission Public Hearing for his proposed business.

Conclusion:

When reviewing this conditional rezoning application, the Board of Supervisors should take into consideration any potential adverse impacts that the development may have on this portion of Fluvanna County and traffic generation issues have been analyzed by the applicant's engineering consultant. The proposed land uses will be generally screened from view and it will allow for an existing business owner to have his own contracting office and enclosed contractor storage areas.

The Board of Supervisors should take into consideration there are some additional B-1 by right land uses that could be constructed on the subject property other than what the case applicant has indicated that he will construct there for his business use and offering up the self-storage space. The slender parcel geometry does further restrict some of the additional B-1 by right land uses and those would include much higher water users such as car washes, hospitals and hotel uses.

The Planning Commission and Planning Staff recommend these Special Use Permit conditions and the **Bold** text has also been added relative to the applicant's own changes since the Planning Commission meeting. **ZMP 22:02 Johnston & Co LLC was approved by the Board of Supervisors with proffered conditions on June 15, 2022, the subject property is zoned B-1:**

1. **The administrative site development plans shall be in substantial conformance with the Johnston & Co. Self-Storage Rezoning / Special Use Permit Concept Plan, prepared by Shimp Engineering and last revised on May 23, 2022.**
2. Prior to development of the site, a site development plan that meets the requirements of the Fluvanna County Zoning Ordinance, it shall be submitted for administrative approval.
3. Any lighting shall not be directed toward the adjacent properties and it shall comply with Article 25 Outdoor Lighting Control of the Fluvanna County Zoning Ordinance.
4. Any noise shall comply with Chapter 15.1 of the Fluvanna County, Virginia Code.
5. The site shall be maintained in a neat and orderly manner so that the visual appearance from the public right-of-way and adjacent properties is acceptable to County officials.

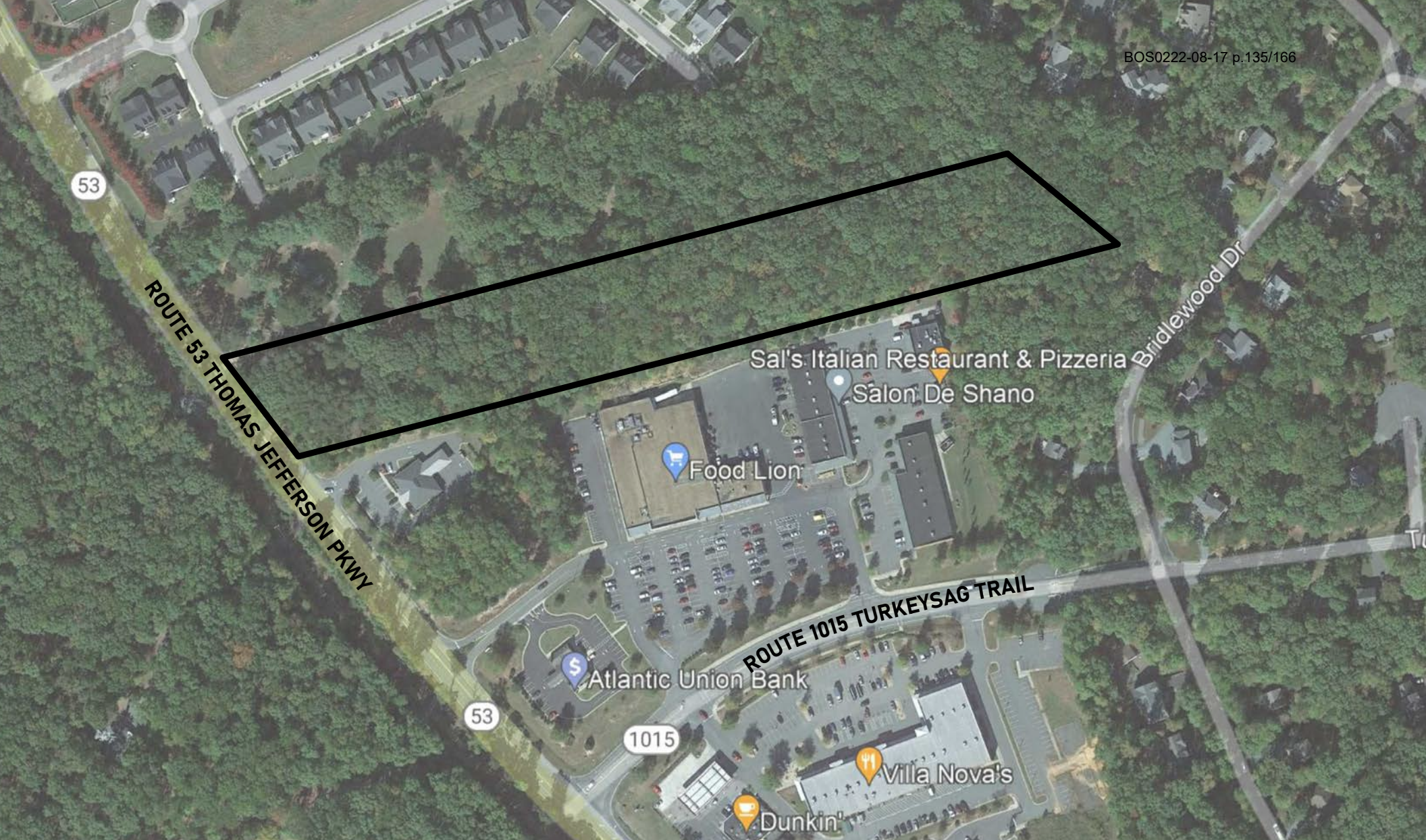
6. The Board of Supervisors, or its representative, reserves the right to inspect the property for compliance with these conditions at any time.
7. Under Section 22-17-4 F (2) of the Fluvanna County Code, the Board of Supervisors has the authority to revoke a Special Use Permit if the property owner has substantially breached the conditions of the Special Use Permit.
8. **No outside storage of heavy equipment for earthwork operations affiliated with a contractor's storage yard will be permitted; this does not preclude storage of heavy equipment for earthwork operations during construction activities on the property.**

Suggested Motion:

I move the Board of Supervisors (approve/deny/defer) SUP 22:01 Johnston & Co LLC, a Special Use Permit request in the B-1, General Business Zoning District to permit a contractor's storage yard with respect to 6.4 +/- acres of Tax Map 17 Section 2 Parcel 2 and subject to the eight (8) case conditions in the staff report.

Attachment:

Route 53 Self-Storage Special Use Permit Graphics 8-17-22

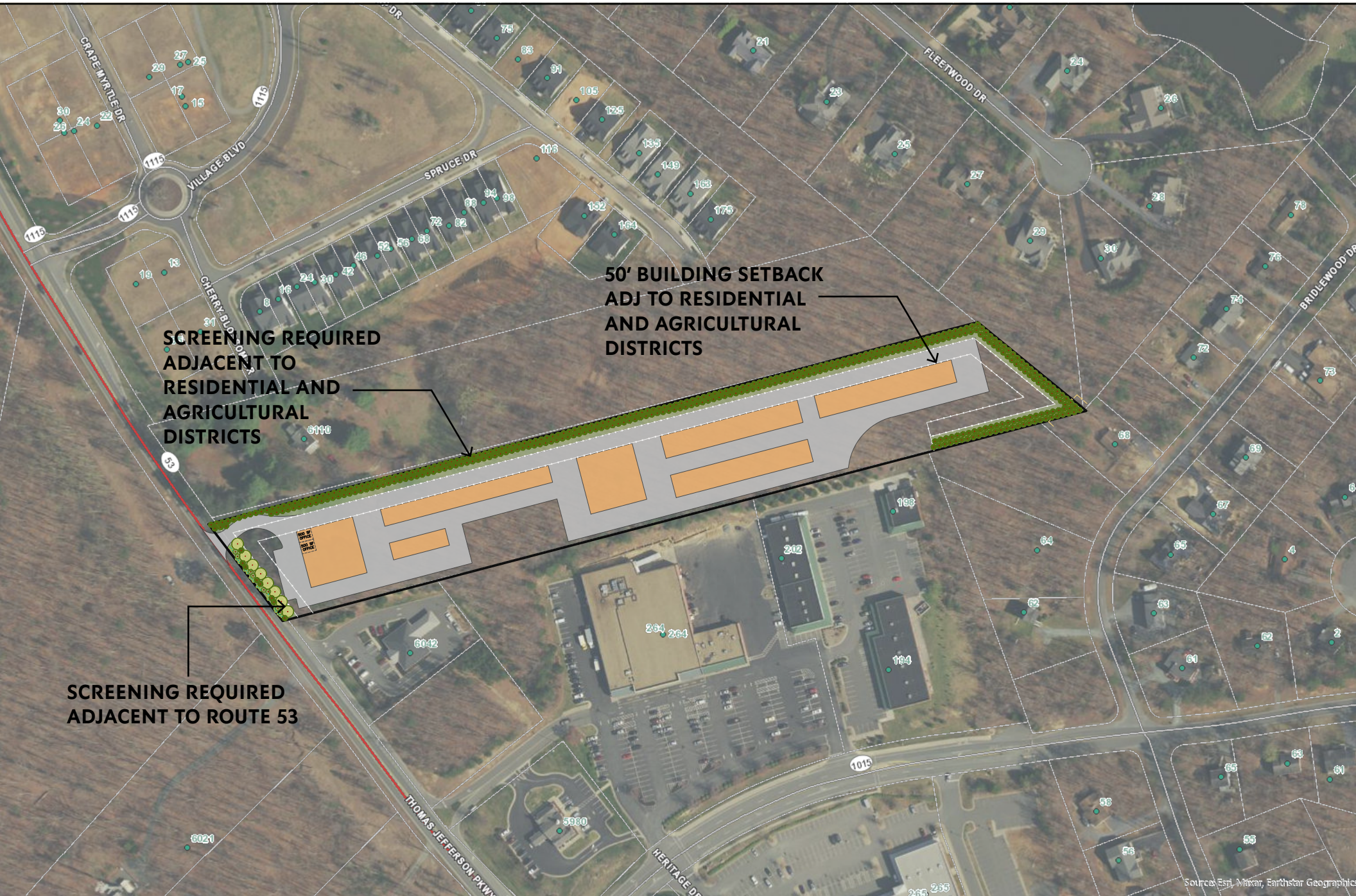


ROUTE 53 SELF-STORAGE SPECIAL USE PERMIT CONTRACTOR'S STORAGE YARD

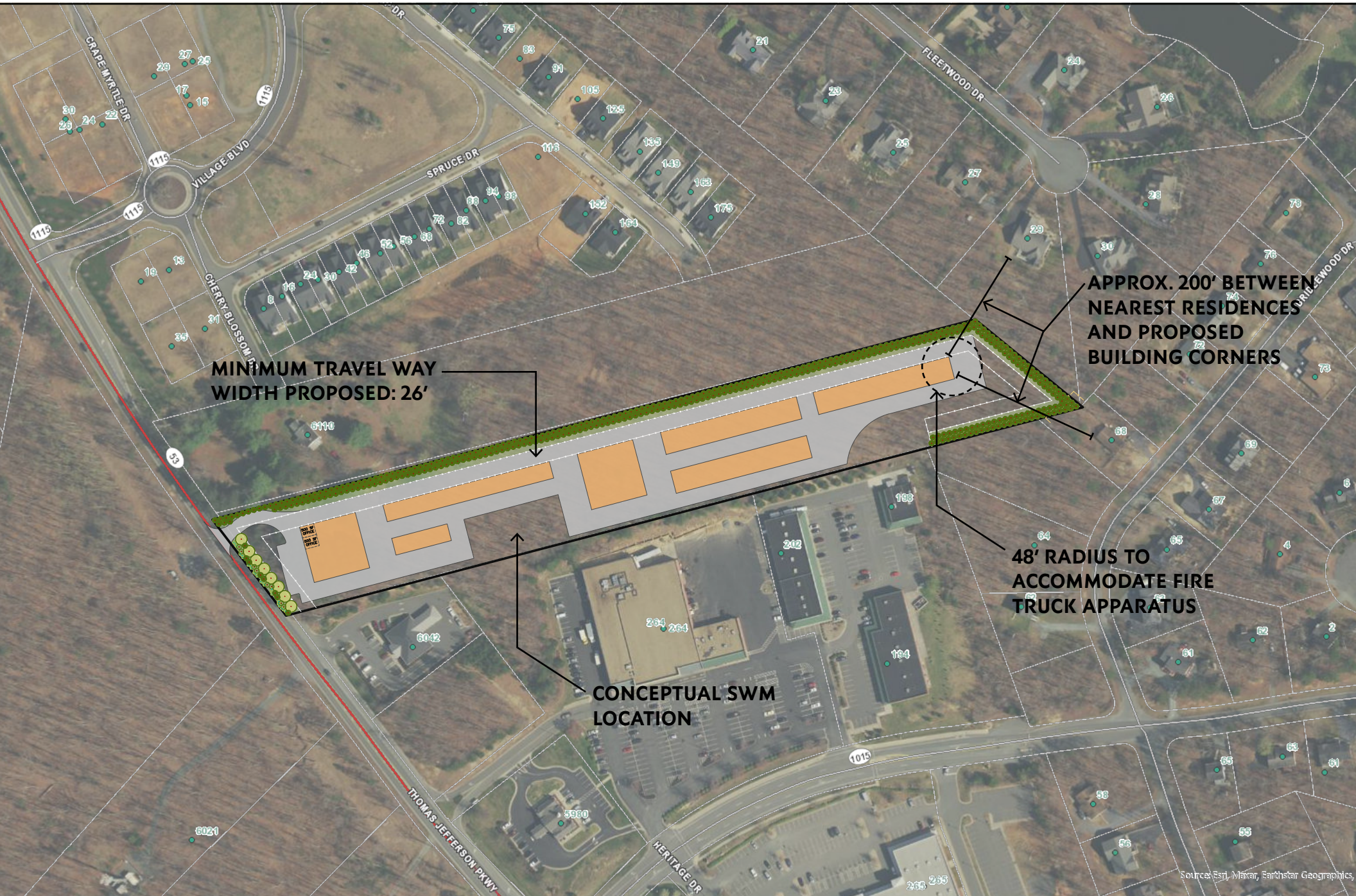
Board of Supervisors

August 17, 2022

CONCEPT PLAN

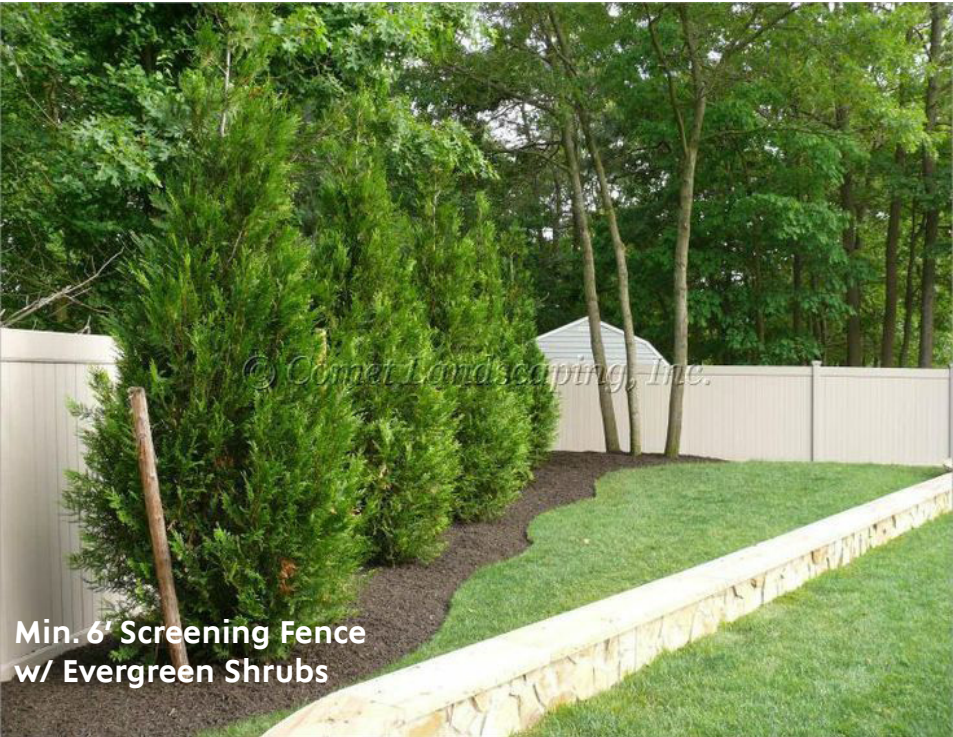
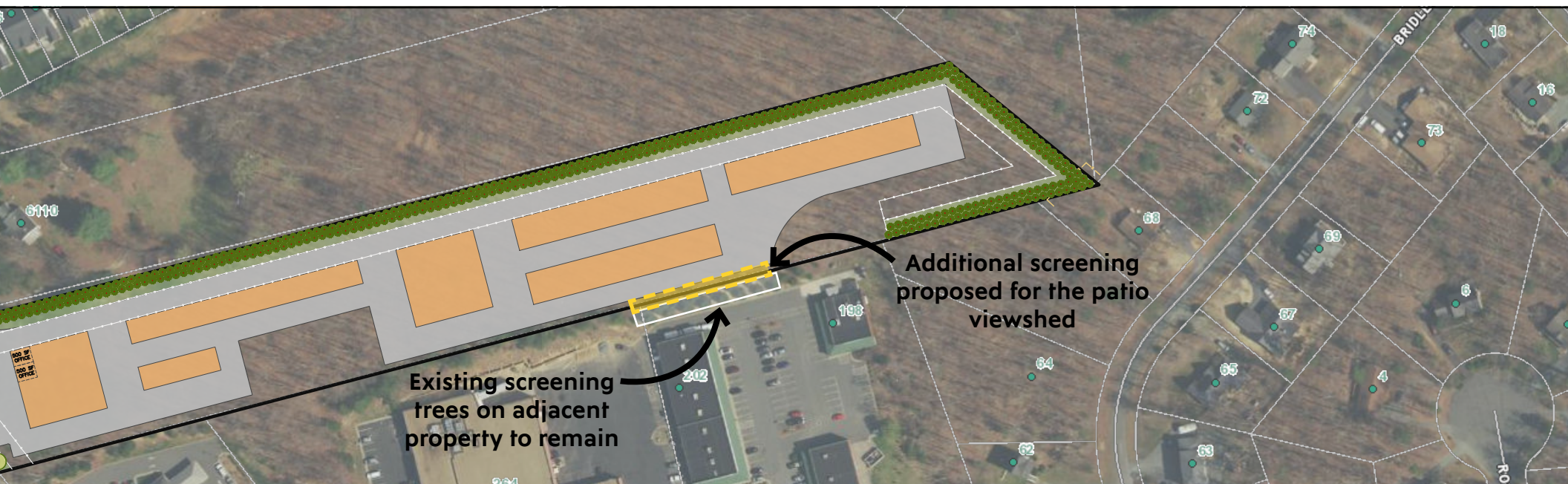


CONCEPT PLAN



Source: Esri, Maxar, Earthstar Geographics,

SCREENING



SHIMP ENGINEERING, P.C.





ROUTE 53 SELF-STORAGE SPECIAL USE PERMIT CONTRACTOR'S STORAGE YARD

Board of Supervisors
August 17, 2022



COUNTY OF FLUVANNA

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132 Main Street
P.O. Box 540
Palmyra, VA 22963
(434) 591-1910
Fax (434) 591-1911
www.fluvannacounty.org

MEMORANDUM

Date: June 2, 2022
From: Valencia Porter
To: Douglas Miles
Subject: APO Memo Complete

Please be advised the attached letter went out to the attached list of Adjacent Property Owners for the June 15, 2022 Board of Supervisors meeting.



COUNTY OF FLUVANNA

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PUBLIC HEARING NOTICE

June 2, 2022

RE: ZMP 22:02 Johnson & Co LLC / SUP 22:01 Johnson & Co LLC / Tax Map 17 Section 2 Parcel 2

This is to notify you that the Fluvanna County Board of Supervisors will hold a public hearing on:

Meeting: Board of Supervisors Public Hearing

Date: **Wednesday, June 15, 2022 at 7:00 pm**

Location: **Fluvanna County Library Meeting Room**
214 Commons Boulevard Palmyra, VA 22963

Note: This Public Hearing it will not be held at the Carysbrook Performing Arts Center location.

ZMP 22:02 Johnston & Co LLC – A Conditional Rezoning from A-1, General Agricultural to the B-1, General Business Zoning District on 6.4 +/- acres of Tax Map 17 Section 2 Parcel 2. The subject property is located 900 feet north of the Route 53 and Turkeysag Trail intersection and is adjacent to the UVA Community Credit Union in the Rivanna Community Planning Area and the Cunningham Election District.

SUP 22:01 Johnston & Co LLC – A Special Use Permit request in the B-1, General Business Zoning District to permit a contractor's storage yard with respect to 6.4 +/- acres of Tax Map 17 Section 2 Parcel 2. The subject property is located 900 feet north of the Route 53 and Turkeysag Trail intersection and is adjacent to the UVA Community Credit Union in the Rivanna Community Planning Area and the Cunningham Election District.

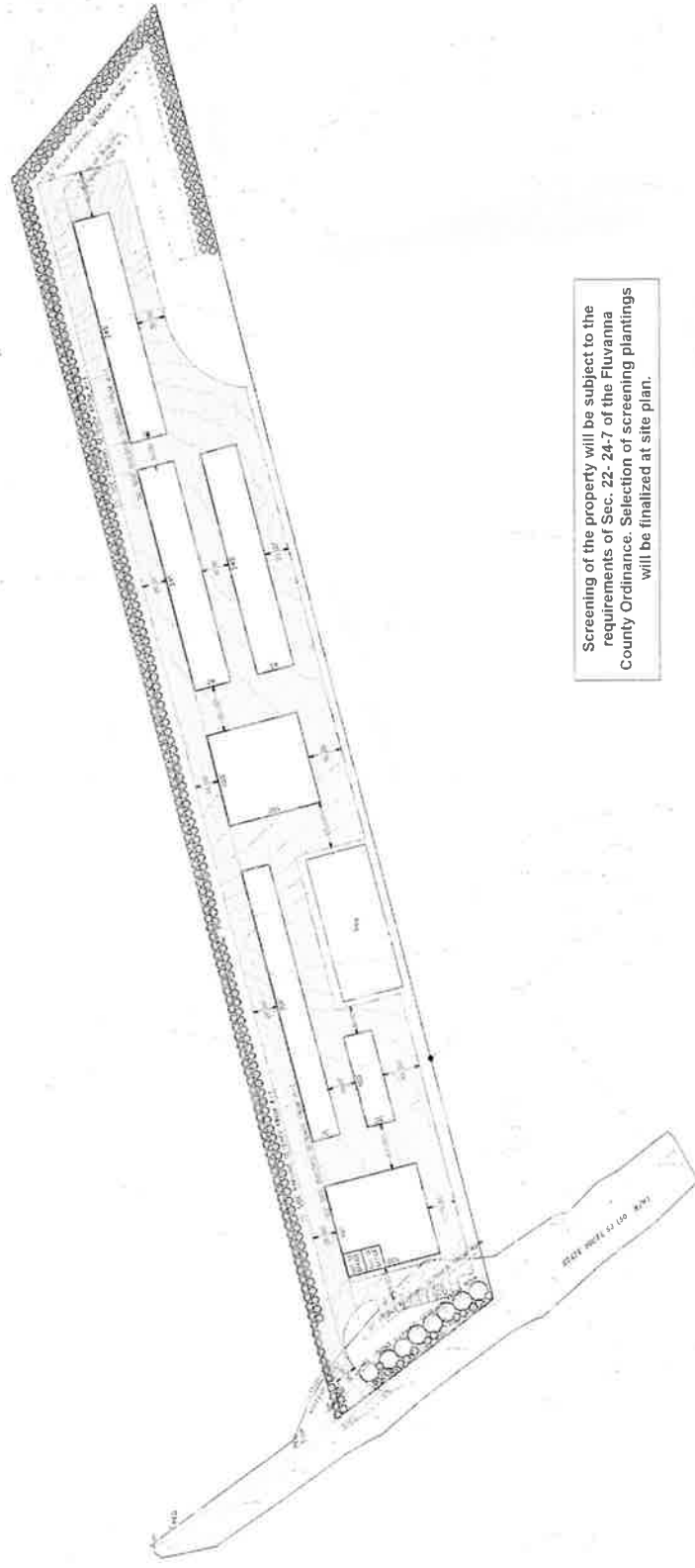
Please be advised that you can attend the meeting in person, join the meeting via Zoom or by a phone call where you will have an opportunity to provide any Public comments. Instructions for participation in the Public Hearing will be available on the County's website along with the Meeting Agenda and Staff Reports.

You can contact the Fluvanna County Planning & Community Development Department, 8:00 am – 5:00 pm, Monday through Friday. If you have any questions regarding the applications or this combined public hearing, please contact me at dmiles@fluvannacounty.org or call me at 434.591.1910 with questions. We have provided the applicant's proposed site layout diagram.

Sincerely,

Douglas Miles

Douglas Miles, AICP, CZA
Community Development Director



Screening of the property will be subject to the requirements of Sec. 22-24-7 of the Fluvanna County Ordinance. Selection of screening plantings will be finalized at site plan.

SHIMP ENGINEERING
shimp-engineering.com

REZONING / SPECIAL USE PERMIT
FLUVANNA, VIRGINIA
JOHNSTON & CO.
SELF-STORAGE

SUBMISSION:
2022 03 16
REVISION:
2022 05 23

BOS0222-08-17 p.143/166

FILE NO. 1008

CONCEPT PLAN

3

ADJACENT PROPERTY OWNERS ZMP 22:02 & SUP 22:01

[illegible]



BOS022208-17 p.147/166

RECEIVED

MAR 18 2022

COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA

Application for Special Use Permit (SUP)

Fluvanna County
Planning Dept

Owner of Record: JOHNSTON, CORY J

Applicant of Record: Same as Owner

Address: 498 CUNNINGHAM MEADOWS DR, PALMYRA, VA 22963

Address: _____

Phone: (434) 218-8707

Fax: _____

Phone: _____

Fax: _____

Email: contactcoryjohnston@gmail.com

Email: _____

Representative: Shimp Engineering, P.C.

Address: 912 E High Street, Charlottesville, VA 22902

Phone: 434-227-5140

Fax: _____

Email: rachel@shimp-engineering.com

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.

If property is in an Agricultural Forestal District, or Conservation Easement, please list information here:

Tax Map and Parcel(s) 17-2-2

Acreage 6.35 Zoning A-1

Deed Book and Page: INST 210003288

Location of Parcel: 900' north of the Turksag Trail and Route 53 intersection

If any Deed Restrictions, please attach a copy

Request for an SUP for the purpose of: A-1 to B-1 Rezoning I Special Use Permit for Contractor's Storage Yard

*Ten copies of a sketch plan (8.5x11 inches or 11x17 inches) must be submitted, showing size and location of the lot, dimensions and location of the proposed building, structure or proposed use, and the dimensions and location of the existing structures on the lot.

By signing this application, the undersigned owner/applicant authorizes entry onto the property by County Employees, the Planning Commission, and the board of Supervisors during the normal discharge of their duties in regard to this request and acknowledges that county employees will make regular inspections of the site.

Date: 3/16/22 Signature of Owner/Applicant: _____

Subscribed and sworn to before me this 16th

day of March

, 2022

Notary Public: _____

Register # 7559487

My commission expires: 12-31-25

Certification: Date: _____



Office Use Only

Date Received: 03/21/22 Pre-Application Meeting: _____

PH Sign Deposit Received: 03/21/22
Check #2163 \$90.00

Application #: SUP 22 : 01

\$800.00 fee plus mailing costs paid: _____

Mailing Costs: \$20.00 Adjacent Property Owner(APO) after 1st 15, Certified Mail

Amendment of Condition: \$400.00 fee plus mailing costs paid: _____

Telecommunications Tower fee plus mailing costs paid: _____

Telecom Consultant Review fee paid: _____

Election District: Cunningham

Planning Area: Rivanna Community

Public Hearings

Planning Commission

Board of Supervisors

Advertisement Dates: _____

Advertisement Dates: _____

APO Notification: _____

APO Notification: _____

Date of Hearing: _____

Date of Hearing: _____

Decision: _____

Decision: _____



Commonwealth of Virginia
County of Fluvanna
Public Hearing Sign Deposit

Name: Cory Johnston

Address: 498 Cunningham Meadows Dr

City: Palmyra

State: VA Zip Code: 22963

I hereby certify that the sign issued to me is my responsibility while in my possession. Incidents which cause damage, theft, or destruction of these signs will cause a partial or full forfeiture of this deposit.

 3/15/22
Applicant Signature Date

*Number of signs depends on number of roadways property adjoins.

OFFICE USE ONLY	
Application #: BZA _____ : _____ CPA _____ : _____ SUP _____ : _____ ZMP _____ : _____ ZTA _____ : _____	
\$90 deposit paid per sign*:	Approximate date to be returned:

March 15, 2022

Fluvanna County Planning and Zoning
132 Main Street
Palmyra, VA 22963

Re: AUTHORIZATION TO SUBMIT LAND USE APPLICATIONS

Cory J. Johnston (the "Owner"), is the Owner of Fluvanna County tax parcel 17-2-2 (the "Property"). The Owner desires to submit land use applications affecting the Property, such as, but not limited to, Rezoning Applications, Special Use Permit Applications, Site Plan Applications, and other similar land use applications affecting the Property (collectively, the "Land Use Applications"). The Owners hereby authorize the following individuals and entities to submit Land Use Applications on behalf of the Owner in connection with the Property: Justin M. Shimp, Rachel Moon, and Kelsey Schlein of Shimp Engineering, P.C. This authorization includes the authority to take any other steps, and submit any other documentation to Fluvanna County necessary to effectuate the Land Use Applications on behalf of the Owner.

By:  _____ Cory J. Johnston

Date: 3/16/22

Describe briefly the **improvements** proposed. State whether new buildings are to be constructed, existing buildings are to be used, or additions made to existing buildings.

Please see attached narrative

NECESSITY OF USE: Describe the reason for the requested change.

Please see attached narrative

PROTECTION OF ADJOINING PROPERTY: Describe the effects of the proposed use on adjacent property and the surrounding neighborhood. What protection will be offered adjoining property owners?

Please see attached narrative

ENHANCEMENT OF COUNTY: Why does the applicant believe that this requested change would be advantageous to the County of Fluvanna? (Please substantiate with facts.)

Please see attached narrative

PLAN: Furnish plot plan showing boundaries and dimensions of property, width of abutting right-of-ways, location and size of buildings on the site, roadways, walks, off-street parking and loading space, landscaping, etc. Architect's sketches showing elevations of proposed buildings and complete plans are desirable and may be required with the application.

Remarks:

Commonwealth of Virginia**County of Fluvanna****Special Use Permit Checklist**

The following information shall be submitted with the application and is to be provided by the applicant for the processing of the application:

Applicant must supply	Staff Checklist
Completed Special Use Permit signed by the current owner(s) or lessee or written confirmation from the current owner or lessee granting the right to submit the application	
Ten (10) copies of a Site Plan for any expansion or new construction Include: <ul style="list-style-type: none"> • Plot plan or survey plat at an appropriate scale • Location and dimension of existing conditions and proposed development • <i>Commercial and Industrial Development</i>: parking, loading, signs, lighting, buffers and screening • Copy of the Tax Map showing the site (preferred) • General Location Map (preferred) 	
Supporting photographs are not required, but suggested for evidence	

All maps and plans submitted are to be either 8.5"x 11" or 11"x 17". One original of any size may be for staff use at the public hearing.

Staff Only	Staff Checklist
Preliminary review by planning staff for completeness and content:	
<ul style="list-style-type: none"> • Technical Review Committee review and comment • Determine all adjacent property owners • Placed as a Public Hearing on the next available agenda of the Planning Commission. 	
Notification of the scheduled Public Hearing to the following:	
<ul style="list-style-type: none"> • Applicant • All adjacent property owners • Local Newspaper advertisement 	
Staff Report to include, but not be limited to:	
<ul style="list-style-type: none"> • General information regarding the application • Any information concerning utilities or transportation • Consistency with good planning practices • Consistency with the comprehensive plan • Consistency with adjacent land use • Any detriments to the health, safety and welfare of the community. 	

The Special Use Permit application fee is made payable to the **County of Fluvanna**.

Meetings for the processing of the application

Applications must be submitted by the first working day of the month to have the process start that month. Applications received after the first working day will have the process start the following month.

Process:

1. Placed on next available Technical Review Committee Agenda.
2. Placed as a Public Hearing on the next available agenda of the Planning Commission the following month. Staff Report and Planning Commission recommendation forwarded to the Board.
3. Placed as a Public Hearing on the next available agenda of the Board of Supervisors (usually the same month as the Planning Commission).

Applicant or a representative must appear at the scheduled hearings.

The Technical Review Committee provides a professional critique of the application and plans. The Planning Commission may recommend to the Board of Supervisors: approval; approval subject to resubmittal or correction; or denial of the special use permit.

Board Actions

After considering all relevant information from the applicant and the public, the Board will deliberate on points addressed in the Staff Report.

The Board may approve; deny; or defer the request pending further consideration; or remand the case back to the Planning Commission for further consideration.

With **approval**, the development may proceed.

If **denied**, an appeal to the Courts may be prescribed by law

No similar request for a Special Use Permit for the same use at the same site may be made within one year after the denial.

REZONING | SPECIAL USE PERMIT CONCEPT PLAN

JOHNSTON & CO. SELF-STORAGE

TAX MAP 17, PARCEL 2-2
FLUVANNA COUNTY, VIRGINIA
ZMP 22:02 | SUP 22:01

LEGEND

EXISTING	NEW	DESCRIPTION
		BOUNDARIES
		BENCHMARK
		SITE PROPERTY LINE
		ADJACENT PROPERTY LINE
		BUILDING SETBACK
		PARKING SETBACK
		SITE TEXT
		PARKING COUNT
		TOPOGRAPHY
		INDEX CONTOUR
		INTERVAL CONTOUR
		SPOT ELEVATION
		TOP OF CURB ELEVATION
		TOP OF WALL ELEVATION
		BOTTOM OF WALL ELEVATION
		STREAM
		STREAM BUFFER
		100 YEAR FLOODPLAIN
		BUILDING
		BUILDING
		RETAINING WALL
		STAIRS
		EDGE OF PAVEMENT
		ROAD CENTERLINE
		FRONT OF CURB
		BACK OF CURB
		CG-12 TRUNCATED DOME
		BIKE PARKING
		HANDICAP ACCESSIBLE AISLE
		HANDICAP PARKING
		MATERIAL
		CONCRETE
		RIPRAP
		ASPHALT
		EC-2 MATTING
		EC-3 MATTING
		WETLAND
		TREELINE
		FENCE
		UTILITY
		UTILITY POLE
		GUY WIRE
		OVERHEAD UTILITY
		UNDERGROUND UTILITY
		STORM
		STORM MANHOLE
		DROP INLET
		STORM SEWER
		ROOF DRAIN
		SANITARY
		SANITARY MANHOLE
		SANITARY SEWER MAIN
		SANITARY SEWER LATERAL
		WATER
		WATER LINE
		WATER METER
		WATER METER VAULT
		FIRE HYDRANT
		FIRE DEPARTMENT CONNECTION
		GAS
		GAS LINE
		EASEMENTS
		CONSTRUCTION
		GRADING
		ACCESS
		SIGHT DISTANCE
		UTILITY
		STORMWATER FACILITY MAINTENANCE
		STORMWATER ACCESS
		DRAINAGE
		SANITARY
		WATERLINE
		GASLINE

OWNER & APPLICANT

Cory J. Johnston
498 Cunningham Meadows Drive
Palmyra VA 22963

ZONING

A-1 - Agricultural
Request to rezone from A-1 Agricultural to B-1 Commercial
Request for special use permit for contractor's storage yard

SETBACKS

Front (building): 50' from ROW
Front (parking): 25' from ROW
Side Adj. to Agricultural/Residential District (building): 50'
Side Adj. to Agricultural/Residential District (parking): 25'

MAGISTERIAL DISTRICT

Palmyra

SOURCE OF TITLE

Inst. 210003288

SOURCE OF BOUNDARY AND TOPOGRAPHY

Boundary & topographic survey provided by: Foresight Survey P.C.
(2)-ft interval contours shown per LiDAR, Virginia Geographic Information Network, 2016

BENCHMARK

Vertical Datum for topography is NAVD 88

FLOODZONE

FEMA flood insurance rate map (community panel 51065C0065C), effective date May 16, 2008 shows this property is not within zone AE and no portion of the property lies within the 100-year flood plain.

WATER & SANITARY SERVICES

Property lies within AQUA Virginia service area; public water and sewer connections are proposed if easements exist or can be obtained for connections

GENERAL NOTES

This plan was created to accompany land use applications and is conceptual in nature. This plan is not approved for construction.

EXISTING USE

Vacant Land

PROPOSED USE

Contractor's Storage Yard & Self-Storage

PARKING SCHEDULE

PARKING SCHEDULE FOR TMP 17-2-2

(UNSPECIFIED) PARKING: Sufficient parking for average number of employees and visitors
6 PARKING SPACES REQUIRED 10 PARKING SPACES PROVIDED

TOTAL REQUIRED: 6 PARKING SPACES
TOTAL PROVIDED: 10 PARKING SPACES

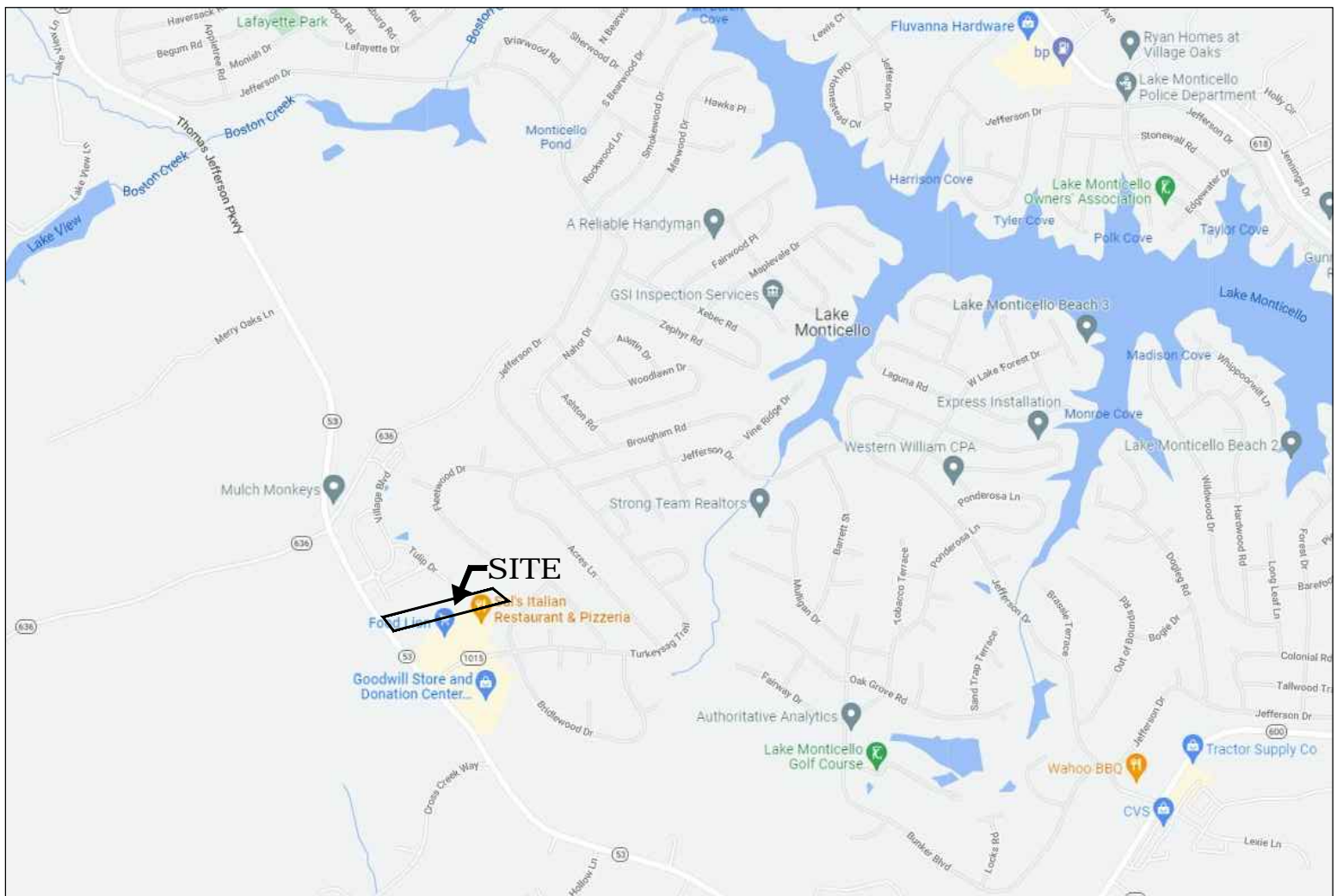
ITE Trip Generation

Trip Generation Manual, 10th Edition				AM			PM			Daily
Use Description	ITE	IV		In	Out	Total	In	Out	Total	Total
Mini-Warehouse	151	60,400 SF		4	2	6	5	5	10	91
Small Office Building	712	500 SF		1	0	1	1	0	1	8
Specialty Trade Contractor	180	500 SF		1	0	1	0	1	1	5
Total				4	2	8	5	5	12	104

Trip Generation reflects AM and PM peak hour traffic.

VICINITY MAP

SCALE : 1"=2000'



Map provided by Google.com

SHEET INDEX

- C1 COVER
- C2 EXISTING CONDITIONS
- C3 CONCEPT PLAN

SHIMP ENGINEERING

LAND PLANNING | SITE DESIGN | CIVIL ENGINEERING | PROJECT MANAGEMENT
Design Focused Engineering

912 East High Street
Charlottesville, VA 22902

Phone: 434-227-5140
shimp-engineering.com

REZONING | SPECIAL USE PERMIT
FLUVANNA COUNTY, VIRGINIA
**JOHNSTON & CO.
SELF-STORAGE**

SUBMISSION:
2022.03.16
REVISION:
2022.05.23

FILE NO.

21.078

COVER

C1



SHIMP ENGINEERING
LAND PLANNING | SITE DESIGN | CIVIL ENGINEERING | PROJECT MANAGEMENT
Design Focused Engineering

912 East High Street
Charlottesville, VA 22902
Phone: 434-227-5140
shimp-engineering.com

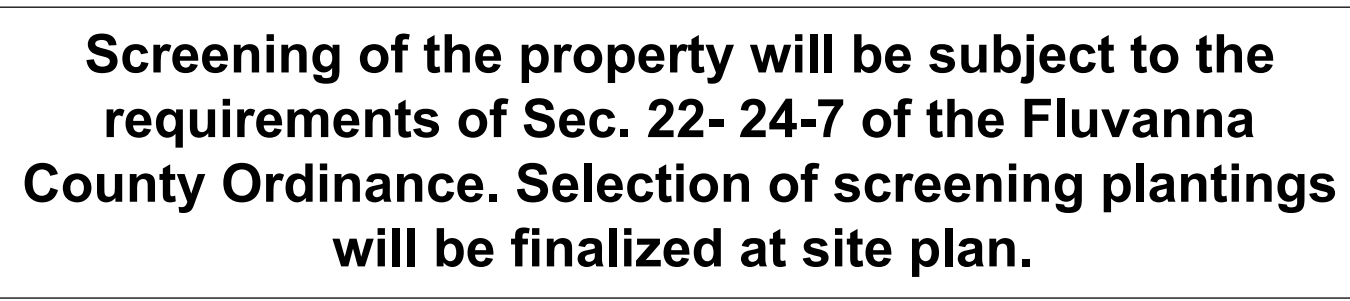
REZONING | SPECIAL USE PERMIT
FLUVANNA, VIRGINIA
**JOHNSTON & CO.
SELF-STORAGE**

SUBMISSION:
2022.03.16
REVISION:
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FILE NO. 21.078

EXISTING CONDITIONS

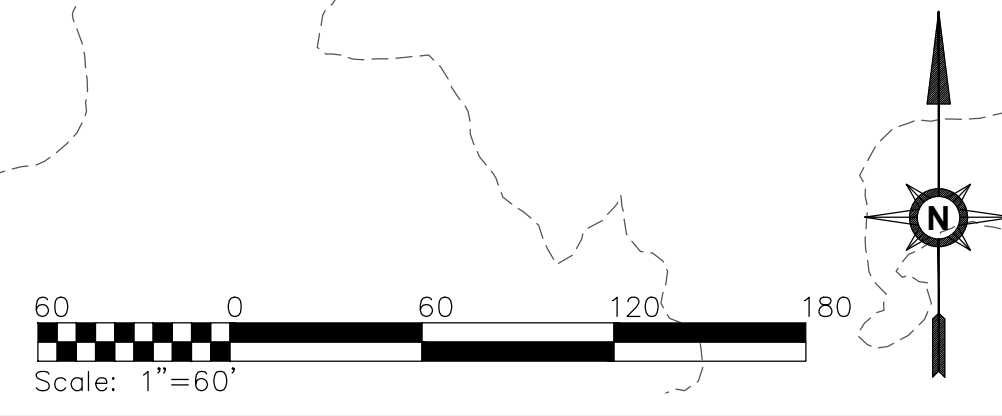
C2



REZONING | SPECIAL USE PERMIT
FLUVANNA, VIRGINIA
**JOHNSTON & CO.
SELF-STORAGE**

FILE NO. 21.078

CONCEPT PLAN



**FLUVANNA COUNTY BOARD OF SUPERVISORS
MEETING PACKAGE ATTACHMENTS**

Incl?	Item
<input checked="" type="checkbox"/>	BOS Contingency Balance Report
<input checked="" type="checkbox"/>	Building Inspections Report
<input checked="" type="checkbox"/>	Capital Reserve Balances Memo
<input type="checkbox"/>	Fluvanna County Bank Balance and Investment Report
<input checked="" type="checkbox"/>	Unassigned Fund Balance Report
<input type="checkbox"/>	VDOT Monthly Report & 2020 Resurfacing List
<input type="checkbox"/>	ARPA Fund Balance Memo
<input type="checkbox"/>	



COUNTY OF FLUVANNA

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BOS0222-08-17 p.159/166

P.O. Box 540

Palmyra, VA 22963

(434) 591-1910

Fax (434) 591-1911

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MEMORANDUM

Date: August 17, 2022

From: Tori Melton – Management Analyst/Acting Finance Director

To: Board of Supervisors

Subject: FY23 BOS Contingency Balance

The FY23 BOS Contingency line balance is as follows:

Beginning Original Budget:	\$162,000
Available:	\$162,00

BUILDING INSPECTIONS MONTHLY REPORT

County of Fluvanna

Building Official:

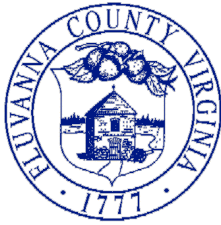
Andrew Wills

Period:

July, 2022

Category	Year	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	TOTAL
BUILDING PERMITS ISSUED														
NEW - Single Family Detached (incl. Trades permits)	2018	8	3	15	11	13	17	13	10	8	8	6	9	121
	2019	8	10	14	9	12	9	10	14	13	2	11	7	119
	2020	12	13	22	14	8	18	19	17	15	20	22	11	191
	2021	15	9	19	20	16	22	15	11	8	22	12	8	177
	2022	17	11	20	11	18	31	10	0	0	0	0	0	118
NEW - Single Family Attached	2018	0	0	0	0	0	0	0	0	0	0	0	0	0
	2019	0	0	0	0	0	0	0	0	0	0	0	0	0
	2020	0	0	0	0	1	6	0	0	6	0	0	5	18
	2021	6	0	0	0	0	0	0	0	0	0	0	0	6
	2022	0	0	0	0	0	0	0	0	0	0	0	0	0
NEW - Mobil Homes	2018	0	0	1	1	0	0	0	0	0	0	0	0	2
	2019	0	0	0	0	0	0	0	0	1	0	0	0	3
	2020	0	0	1	0	0	1	0	0	1	0	0	0	3
	2021	0	0	0	0	0	0	0	0	0	0	1	0	1
	2022	0	0	0	0	0	1	0	0	0	0	0	0	1
Additions and Alterations	2018	19	6	10	19	8	13	26	25	32	42	22	21	243
	2019	35	33	37	27	38	38	44	34	34	36	35	31	422
	2020	37	38	23	30	30	22	27	20	30	34	35	23	349
	2021	28	14	43	39	31	40	30	29	26	30	35	33	378
	2022	33	48	60	45	47	50	51	0	0	0	0	0	334
* Trade permits count not in .														
Accessory Buildings	2018	2	3	3	6	2	1	4	2	1	2	2	2	30
	2019	2	4	6	4	4	3	3	8	2	8	4	4	52
	2020	2	4	4	4	5	5	1	7	8	3	5	1	49
	2021	1	3	3	6	3	6	1	3	2	4	4	2	38
	2022	3	4	13	6	5	2	5	0	0	0	0	0	38
Swimming Pools	2018	0	1	1	1	0	1	2	0	1	2	0	0	9
	2019	0	0	0	3	2	2	0	1	0	1	0	1	10
	2020	0	1	3	3	1	2	3	1	1	0	0	0	15
	2021	0	0	7	1	5	2	3	4	1	0	1	2	26
	2022	0	2	4	4	1	0	3	0	0	0	0	0	14
Commercial/ Industrial Build/Cell Towers	2018	0	0	0	0	0	2	0	0	0	0	0	0	2
	2019	0	0	1	1	0	2	0	0	0	0	0	0	4
	2020	0	0	1	0	1	0	0	3	0	0	2	0	7
	2021	1	0	1	0	0	0	1	0	0	0	2	0	5
	2022	0	0	0	0	0	2	3	0	0	0	0	0	5
TOTAL BUILDING PERMITS	2018	29	13	30	38	23	34	45	37	42	54	30	33	408
	2019	45	47	58	44	56	54	57	57	50	48	50	43	609
	2020	51	56	54	51	46	54	50	48	63	57	54	40	624
	2021	51	26	73	66	55	70	50	47	37	56	55	45	631
	2022	54	65	97	66	71	86	72	0	0	0	0	0	511
* Trade permits count not included as in previous years														
BUILDING VALUES FOR PERMITS ISSUED														
TOTAL BUILDING VALUES	2018	\$2,451,433	\$1,075,551	\$3,544,096	\$2,153,241	\$3,834,995	\$5,693,348	\$3,156,593	\$4,929,005	\$3,637,992	\$1,791,222	\$2,169,284	\$2,421,169	\$ 37,107,929
	2019	\$1,991,054	\$2,502,719	\$5,639,238	\$4,695,173	\$3,057,597	\$3,228,152	\$3,360,952	\$3,926,015	\$3,457,214	\$2,636,194	\$3,148,369	\$2,960,579	\$ 40,603,256
	2020	\$2,292,161	\$3,206,055	\$7,238,708	\$2,997,448	\$2,245,441	\$4,389,903	\$3,644,002	\$5,555,492	\$5,271,906	\$4,201,357	\$3,513,834	\$2,954,193	\$ 47,506,500
	2021	\$5,397,000	\$1,687,484	\$2,506,869	\$4,952,702	\$3,473,256	\$5,766,891	\$2,885,146	\$2,053,053	\$2,046,134	\$3,637,390	\$4,633,868	\$2,712,396	\$ 41,734,789
	2022	\$5,073,054	\$3,017,155	\$5,012,175	\$2,937,240	\$5,654,955	\$9,371,750	\$11,374,772	\$0	\$0	\$0	\$0	\$0	\$ 42,441,101

Category	Year	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	TOTAL
LAND DISTURBING PERMITS ISSUED														
LAND DISTURBING PERMITS	2018	10	4	16	13	11	17	13	7	9	6	7	8	121
	2019	8	12	16	9	14	10	12	14	13	2	11	8	129
	2020	11	10	26	13	8	24	13	19	20	19	13	16	192
	2021	22	10	18	20	18	22	16	11	4	23	13	8	185
	2022	16	13	19	11	18	34	11	0	0	0	0	0	122
INSPECTIONS COMPLETED														
TOTAL INSPECTIONS	2018	163	148	173	186	215	176	164	220	144	221	154	141	2,105
	2019	237	207	232	297	305	246	324	332	295	298	204	216	3,193
	2020	213	197	302	369	371	304	434	368	439	464	407	412	4,280
	2021	430	349	465	431	402	426	333	355	419	453	422	356	4,841
	2022	304	414	551	449	439	486	594	0	0	0	0	0	3,237
FEES COLLECTED														
Building Permits	2018	\$8,988	\$4,311	\$9,939	\$14,765	\$13,796	\$23,633	\$14,993	\$8,748	\$10,826	\$12,613	\$9,556	\$14,570	\$ 146,738
	2019	\$11,377	\$13,617	\$14,005	\$14,308	\$11,228	\$16,260	\$13,778	\$18,772	\$14,375	\$8,468	\$14,747	\$11,059	\$ 161,994
	2020	\$12,863	\$15,468	\$18,152	\$16,803	\$13,147	\$28,068	\$23,193	\$28,887	\$24,237	\$19,359	\$15,359	\$15,871	\$ 231,407
	2021	\$18,733	\$15,400	\$15,654	\$21,333	\$16,184	\$23,031	\$27,000	\$11,923	\$9,144	\$20,620	\$15,563	\$9,211	\$ 203,766
	2022	\$21,100	\$19,347	\$23,488	\$15,404	\$19,739	\$23,621	\$18,713	\$0	\$0	\$0	\$0	\$0	\$ 141,412
Land Disturbing Permits	2018	\$1,450	\$5,975	\$1,890	\$1,625	\$1,625	\$2,850	\$1,625	\$1,175	\$1,125	\$875	\$10,675	\$2,150	\$ 33,040
	2019	\$1,000	\$1,500	\$1,625	\$1,125	\$3,553	\$1,250	\$2,975	\$6,556	\$1,920	\$250	\$1,375	\$1,125	\$ 24,251
	2020	\$1,375	\$1,250	\$6,365	\$1,625	\$1,000	\$3,000	\$2,125	\$8,369	\$2,500	\$2,375	\$4,294	\$1,875	\$ 36,153
	2021	\$5,678	\$1,250	\$14,463	\$2,500	\$2,250	\$2,750	\$13,581	\$2,824	\$500	\$4,848	\$1,625	\$1,000	\$ 53,268
	2022	\$2,000	\$2,050	\$9,963	\$1,375	\$2,250	\$10,014	\$1,375	\$0	\$0	\$0	\$0	\$0	\$ 29,027
Zoning Permits/ Proffers	2018	\$1,400	\$800	\$1,750	\$1,600	\$1,400	\$2,200	\$2,050	\$1,400	\$1,050	\$1,400	\$700	\$1,400	\$ 17,150
	2019	\$1,200	\$1,800	\$2,200	\$1,550	\$2,050	\$1,350	\$1,950	\$2,300	\$1,700	\$1,150	\$1,450	\$1,400	\$ 20,100
	2020	\$1,650	\$1,600	\$3,000	\$1,700	\$15,550	\$3,050	\$2,350	\$2,300	\$2,900	\$2,850	\$1,600	\$1,700	\$ 26,250
	2021	\$2,150	\$1,150	\$3,650	\$2,950	\$2,650	\$3,400	\$2,450	\$1,850	\$1,300	\$2,900	\$1,900	\$1,150	\$ 27,500
	2022	\$1,900	\$1,400	\$3,900	\$1,650	\$2,300	\$3,900	\$1,800	\$0	\$0	\$0	\$0	\$0	\$ 16,850
TOTAL FEES	2018	\$11,838	\$11,086	\$13,579	\$17,990	\$16,821	\$28,683	\$18,668	\$11,323	\$13,001	\$14,888	\$20,931	\$14,120	\$ 196,928
	2019	\$13,577	\$16,917	\$17,830	\$16,983	\$16,831	\$18,860	\$18,703	\$27,628	\$17,995	\$9,868	\$15,028	\$13,584	\$ 203,804
	2020	\$15,888	\$18,318	\$27,517	\$20,128	\$15,697	\$34,118	\$27,668	\$39,556	\$29,637	\$24,584	\$24,584	\$19,446	\$ 293,810
	2021	\$26,561	\$17,800	\$33,767	\$26,783	\$21,084	\$29,181	\$43,031	\$16,597	\$10,944	\$28,368	\$24,584	\$11,361	\$ 290,061
	2022	\$25,001	\$22,797	\$37,351	\$18,429	\$24,289	\$37,535	\$21,888	\$0	\$0	\$0	\$0	\$0	\$ 187,290



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MEMORANDUM

Date: August 17, 2022
From: Tori Melton – Management Analyst/Acting Finance Director
To: Board of Supervisors
Subject: FY23 Capital Reserve Balances

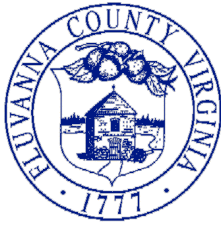
The FY23 Capital Reserve account balances are as follows:

County Capital Reserve:

FY22 Carryover	\$512,518
FY23 Budget Allocation:	\$250,000
Less: Fluvanna County District Court Microphone System Replacement	-5,963
Less: Ground Water Well Monitoring at Convenience Center	-27,050
FY23 Available:	\$729,505

Schools Capital Reserve:

FY22 Carryover	\$387,600
FY23 Budget Allocation:	\$250,000
Less: FCHS Tennis Court Repair	-63,100
Less: Emergency Radios for FCPS School and Departments	-23,910
FY23 Available:	\$550,590



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MEMORANDUM

Date: August 17, 2022
From: Tori Melton – Management Analyst/Acting Finance Director
To: Board of Supervisors
Subject: Unassigned Fund Balance

*FY22 Year End (Unaudited) Unassigned Fund Balance:	\$13,835,655
Current (Unaudited) Unassigned Fund Balance:	\$13,835,655

*Audited FY22 Year End Unassigned Fund Balance will be available upon Completion of the FY22 Comprehensive Annual Financial Report

