



## FLUVANNA COUNTY PLANNING COMMISSION

### REGULAR MEETING AGENDA

Fluvanna County Circuit Court Room

July 9, 2019

7:00 PM (Circuit Court Room)

#### TAB AGENDA ITEMS

##### 1 – CALL TO ORDER, PLEDGE OF ALLEGIANCE, MOMENT OF SILENCE

##### 2 – DIRECTOR'S REPORT

##### 3 – PUBLIC COMMENTS #1 (3 minutes each)

##### 4 – MINUTES

Minutes of June 11, 2019

Minutes of June 19, 2019

##### 5 – PUBLIC HEARINGS

ZTA 19:01 Industrial District Setbacks – Brad Robinson, Senior Planner

##### 6 – PRESENTATIONS

None

##### 7 – SITE DEVELOPMENT PLANS

SDP 19:05 Fork Union Fire Training Building – Holly Steele, Planner

SDP 19:08 Lane Self Storage – Brad Robinson, Senior Planner

SDP 19:10 Central Virginia Electric Cooperative – Brad Robinson, Senior Planner

##### 8 – SUBDIVISIONS

SUB 18:25 Rivanna Investments & Steger Investments – Brad Robinson, Senior Planner

##### 9 – UNFINISHED BUSINESS

None

##### 10 – NEW BUSINESS

None

##### 11 – PUBLIC COMMENTS #2 (3 minutes each)

##### 12 – ADJOURN

*Douglas Miles*

Director of Community Development Review

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*For the Hearing-Impaired – Listening device available in the Board of Supervisors Room upon request. TTY access number is 711 to make arrangements.  
For Persons with Disabilities – If you have special needs, please contact the County Administrator's Office at 591-1910.*

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## **PLEDGE OF ALLEGIANCE**

I pledge allegiance to the flag  
of the United States of America  
and to the Republic for which it stands,  
one nation, under God, indivisible,  
with liberty and justice for all.

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## **ORDER**

1. It shall be the duty of the Chairman to maintain order and decorum at meetings. The Chairman shall speak to points of order in preference to all other members.
2. In maintaining decorum and propriety of conduct, the Chairman shall not be challenged and no debate shall be allowed until after the Chairman declares that order has been restored. In the event the Commission wishes to debate the matter of the disorder or the bringing of order; the regular business may be suspended by vote of the Commission to discuss the matter.
3. No member or citizen shall be allowed to use abusive language, excessive noise, or in any way incite persons to use such tactics. The Chairman shall be the judge of such breaches, however, the Commission may vote to overrule both.
4. When a person engages in such breaches, the Chairman shall order the person's removal from the building, or may order the person to stand silent, or may, if necessary, order the person removed from the County property.

## **PUBLIC HEARING RULES OF PROCEDURE**

1. PURPOSE
  - The purpose of a public hearing is to receive testimony from the public on certain resolutions, ordinances or amendments prior to taking action.
  - A hearing is not a dialogue or debate. Its express purpose is to receive additional facts, comments and opinion on subject items.
2. SPEAKERS
  - Speakers should approach the lectern so they may be visible and audible to the Commission.
  - Each speaker should clearly state his/her name and address.
  - All comments should be directed to the Commission.
  - All questions should be directed to the Chairman. Members of the Commission are not expected to respond to questions, and response to questions shall be made at the Chairman's discretion.
  - Speakers are encouraged to contact staff regarding unresolved concerns or to receive additional information.
  - Speakers with questions are encouraged to call County staff prior to the public hearing.
  - Speakers should be brief and avoid repetition of previously presented comments.
3. ACTION
  - At the conclusion of the public hearing on each item, the Chairman will close the public hearing.
  - The Commission will proceed with its deliberation and will act on or formally postpone action on such item prior to proceeding to other agenda items.
  - Further public comment after the public hearing has been closed generally will not be permitted.

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## COUNTY OF FLUVANNA

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*"Responsive & Responsible Government"*

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P.O. Box 540  
Palmyra, VA 22963  
(434) 591-1910  
Fax (434) 591-1911  
[www.fluvannacounty.org](http://www.fluvannacounty.org)

To: Fluvanna County Planning Commission  
From: Douglas Miles, Director of Community Development  
Date: July 9, 2019  
Re: Planning Director's Report

### Board of Supervisors Actions:

June 19, 2019

**ZMP 18:01 Steven L. & Codie C. Peters / Colonial Circle** – A request to rezone, from A-1 Agricultural, General and B-1 Business, General to R-3, Residential Planned Community, 61.95 acres of Tax Map 8, Section A, Parcel A14A. The property is located on the northeast corner of the intersection of Thomas Jefferson Parkway (Route 53) and Lake Monticello Road (State Route 618). The property is within the Rivanna Community Planning Area and the Palmyra Election District. **(Approved 4-1)**

**SUP 18:05 Steven L. & Codie C. Peters / Colonial Circle Density** – A request to increase density above 2.9 dwelling units per acre with respect to 61.95 acres of Tax Map 8, Section A, Parcel A14A. The property is located on the northeast corner of the intersection of Thomas Jefferson Parkway (Route 53) and Lake Monticello Road (State Route 618). The property is within the Rivanna Community Planning Area and the Palmyra Election District. **(Approved 4-1)**

July 2, 2019

None

### Board of Zoning Appeals Actions:

June 18, 2019

**BZA 19:03 – Keith Bray**: A request for a variance to Fluvanna County Code Sec.22-4-3(G) of the Zoning Ordinance to allow for the reduction of the minimum rear setback, from 75 feet to 51 feet, for the purpose of constructing a new 42' x 70' garage building with a gable roof with respect to 2.5 acres of Tax Map 8, Section 6, Parcel 2. The subject property is located in the Palmyra Election District at the intersection of Lake Monticello Road (Route 618) and White Oak Drive. The property is zoned A-1, Agricultural, General and is within the Rivanna Community Planning Area. **(Dismissed 3-0)**

**BZA 19:04 – Greenberry’s:** A request for a variance to Fluvanna County Code Sec.22-11-5 of the Zoning Ordinance to allow for the reduction of the minimum building setback required from a street right-of-way, from 50 feet to 25 feet, for the purpose of constructing a light manufacturing facility with respect to 1.095 acres of Tax Map 5, Section 24, Parcel 6. The subject property is located in the Columbia Election District within the Zion Station industrial subdivision at the intersection of Zion Station Road (Route 1021) and Zion Station Court (Route 1022). The property is zoned I-1, Industrial, Limited and is within the Zion Crossroads Community Planning Area. **(Denied 3-0)**

### **Technical Review Committee for June 13, 2019:**

- I. **SDP 19:05 Fork Union Fire Training Building** – A site development plan request to construct a fire training building, with respect to 10 acres of Tax Map 51, Section A, Parcel 129. The property is zoned I-1, Industrial, Limited and located on James Madison Highway (Route 15), approximately 1 mile southeast of the intersection with East River Road (Route 6). The property is located in the Fork Union Election District and is within the Fork Union Community Planning Area.
- II. **SDP 19:08 Lane Self Storage** – A site development plan request to construct seven self-storage buildings, parking area and travelways with respect to 4.337 acres of Tax Map 5, Section A, Parcel 59. The property is zoned I-1, Industrial, Limited and located along U.S. Route 15 (James Madison Highway) approximately 0.2 miles south of its intersection with U.S. Route 250 (Richmond Road). The property is located in the Columbia Election District and is within the Zion Crossroads Community Planning Area.
- III. **SDP 19:10 Central Virginia Electric Cooperative** – A site development plan request to construct an employee parking area containing 26 spaces with respect to 41.815 acres of Tax Map 10, Section A, Parcel 32. The property is zoned B-1, Business, General and located on the east side of Salem Church Road (Route 644), approximately ¼ mile south of its intersection with Union Mills Road (Route 616). The property is located in the Columbia Election District and is within the Rural Residential Planning Area.
- IV. **SUP 19:05 MaryJane Cathers** – A request for a special use permit to convert the second floor of an existing 24’ x 48’ barn into a specialty retail store for the sale of alpaca products and to host related workshops, with respect to 4.234 acres of Tax Map 19, Section 13, Parcels 5 and 6. The property is located off of James Madison Highway (State Route 15), approximately 0.3 miles south of the intersection with Bybees Church Road (State Route 613). The parcel is zoned A-1 Agricultural, General and located within the Rural Residential Planning Area and the Columbia Election District.

**CODE COMPLIANCE VIOLATION STATISTICS****June - 2019**

Scott B. Miller, CZO, Code Inspector, Building Site Inspector

Case No.	Tax Map Number	Property Owner	Address	Date of Complaint	Violation Type	Status*	Deadline	District
1611-01	18-(A)-25B	Stevens, Roger	Thomas Farm La. (Vacant)	11/3/2016	Junk/Inoperable Vehicle	Court Agreement 4/05/2018	Status Review Court 08/08/2019	Palmyra
1709-03	4-(A)-114	Herrion, Vernon L.	15 Blue Ridge Dr.	09/20/2018	Violation of SUP 04-10	Permit Pend	07/20/2019	Palmyra
1801-05	36-(A)-97	Patterson, Hilton & Carolyn	1404 West River Rd.	01/26/2018	Junk/Debris	Pending	07/12/2019	Cunningham
1803-01	4-(12)-1	Meredith, White Et Al	251 Country La.	03/02/2018	Inoperable Vehicles	Extended	07/02/2019	Palmyra
1804-03	4-(A)-109A	Bahr, Kenneth	3180 Richmond Rd.	04/10/2018	Violation of SDP 06-009	Court	Appeal 05/24/2019 Trial 08/08/2019	Palmyra
1810-02	49-(A)-10A	Thomas, Willis L. Jr. & Bertha	2438 & 2390 Shores Rd.	10/17/2018	Inoperable Vehicles	Pending	07/17/2019	Fork Union
1811-01	54A-(1)-77,78B, 95, 95A	Harry, Richard T. & Donna M.	436 Saint James St.	11/09/2018	Non-permitted use, "junkyards", salvage & scrapyards"	Pending	07/09/2019 Substantial Improv.	Columbia
1811-02	9-(A)-14B	Crofton Group, Inc.	106 Crofton Plaza	11/16/2018	Amended Site Plan required	Pending	07/16/2019	Palmyra
1901-01	30-(1)-A1	Newton, Eleanor T.	1116 Thomas Jefferson Pkwy	01/07/2019	Garbage, Debris, Junk	Pending	07/07/2019	Fork Union
1901-03	30-(A)-49	Ross, Kyeasha & Scruggs	2430 Shiloh Church Rd.	01/29/2019	Garbage, Trash	Pending	07/28/2019	Fork Union
1903-02	31-(A)-67, 31-(A)-67A	Norcross, Robert L.	3127 & 3171 Courthouse Rd.	03/18/2019	Garbage, Refuse & Waste	Cleared	06/17/2019	Columbia
1904-04	59-(A)-54	Fork Union Rentals, LLC.	928 Spring Rd.	04/10/2019	Inoperable Vehicles	Pending	07/10/2019 Substantial Improv.	Fork Union
1904-07	4-(A)-87	Holsapple, Denise, Et Al	2228 Oliver Creek Rd.	04/22/2019	Inoperable Vehicles, Junk	Pending	07/22/2019	Palmyra
1904-08	4-(A)-88	Page, John R. & Deborah S.	2270 Oliver Creek Rd.	04/22/2019	Inoperable Vehicles	Pending	07/22/2019	Palmyra
1905-01	11-(5)-12	Moyers, Jasper E., Jr.	495 Lake Rd.	05/02/2019	Inoperable Vehicles, Junk	Cleared	06/02/2019	Columbia
1906-01	20-(A)-8	Pace, Thomas A. & Ryan T.	730 Bybees Church Rd.	06/06/2019	SUP Required for Use	Extended	07/07/2019	Columbia
1906-02	18-(13)-12	Campbell, Ian & Misty	12 Kendall Ct.	06/12/2019	Garbage, Refuse & Waste	Cleared	06/21/2019	Palmyra
1906-03	54-(A)-38	White, Michael Alexander	Stage Junction Rd. (Vacant)	06/19/2019	Inoperable Vehicle	Cleared	06/27/2019	Columbia

STATUS DEFINITIONS*		
Board - Case is pending Board Approval	Court Pending - Summons to be issued	Permit Pending - Applied for Permit to Abate Violation
Cleared - Violation Abated	Extended - Extension Given/Making Progress to Abate Violations	Rezoning - Property is in Rezoning Process
Court - Case is before Judge	Pending - Violation Notice Sent	SUP Pending - SUP Application made to Abate Violation
<b>MISCELLANEOUS ACTIONS / TASKS</b>		
Biosolids Applied and Signs Displayed (Total – 31 Sites)		
Compliance with Tenaska Virginia Sound Levels 06/18/2019		
Signs Removed From Public Rights-Of-Way (Total – 33)		
Placed and removed "Public Hearing Signs" as needed and Deliver packets to BOS, PC Members and Library		
Presentation to the Board Of Supervisors regarding latest county codes about garbage, refuse, waste and inoperable vehicles 05/01/2019		
Presentation to the Sheriff's Office Deputies regarding inoperable/abandoned vehicles, garbage, refuse and waste 06/20/2019 and 06/21/2019		



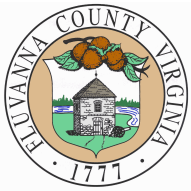
# BUILDING INSPECTIONS MONTHLY REPORT

County of Fluvanna

<b>Building Official:</b>	<b>Period:</b>
Kevin Zoll	June, 2019

Category	Year	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	TOTAL
<b>BUILDING PERMITS ISSUED</b>														
<b>NEW - Single Family Detached (incl. Trades permits)</b>	2015	4	5	10	9	12	12	14	13	2	4	7	3	95
	2016	11	11	8	15	9	18	6	5	9	2	6	8	108
	2017	3	2	16	6	4	10	6	5	14	5	7	13	91
	2018	8	3	15	11	13	17	13	10	8	8	6	9	121
	2019	8	10	14	9	12	9	0	0	0	0	0	0	62
<b>NEW - Single Family Attached</b>	2015	2	0	0	0	0	0	0	2	0	0	0	0	4
	2016	0	0	0	0	0	5	0	0	0	0	0	0	5
	2017	0	0	0	0	0	0	0	0	0	0	0	0	0
	2018	0	0	0	0	0	0	0	0	0	0	0	0	0
	2019	0	0	0	0	0	0	0	0	0	0	0	0	0
<b>NEW - Mobil Homes</b>	2015	0	0	0	0	1	1	0	2	0	0	0	0	4
	2016	0	1	0	0	0	0	0	1	0	0	0	0	2
	2017	0	0	0	0	2	1	0	1	0	0	0	0	4
	2018	0	0	1	1	0	0	0	0	0	0	0	1	3
	2019	0	0	0	0	0	0	0	0	0	0	0	0	0
<b>Additions and Alterations</b>	2015	21	30	38	28	21	30	22	25	23	27	35	18	318
	2016	13	10	31	27	29	29	15	32	31	28	27	27	299
	2017	29	20	29	43	20	29	32	18	23	27	43	28	341
	2018	19	6	10	19	8	13	26	25	32	42	22	21	243
	2019*	35	33	37	27	38	38		0	0	0	0	0	208
* Trade permits count not included as in previous years														
<b>Accessory Buildings</b>	2015	4	4	3	4	1	0	0	2	6	0	0	3	27
	2016	3	4	4	6	2	2	1	2	1	3	3	6	37
	2017	0	4	2	3	2	2	2	4	2	0	2	2	25
	2018	2	3	3	6	2	1	4	2	1	2	2	2	30
	2019	2	4	6	4	4	3	0	0	0	0	0	0	23
<b>Swimming Pools</b>	2015	0	0	0	0	0	0	0	1	1	0	0	0	2
	2016	0	0	0	0	0	1	1	0	0	0	0	0	2
	2017	0	0	0	0	0	1	1	0	0	1	1	0	4
	2018	0	1	1	1	0	1	2	0	1	2	0	0	9
	2019	0	0	0	3	2	2	0	0	0	0	0	0	7
<b>Commercial/Industrial Build/Cell Towers</b>	2015	1	0	0	0	0	0	2	0	0	1	1	1	6
	2016	0	0	2	2	0	0	1	0	1	1	1	1	9
	2017	1	2	0	0	0	0	2	2	1	1	0	0	9
	2018	0	0	0	0	0	2	0	0	0	0	0	0	2
	2019	0	0	1	1	0	2	0	0	0	0	0	0	4
<b>TOTAL BUILDING PERMITS</b>	2015	32	39	51	41	35	43	38	45	32	32	43	25	456
	2016	27	26	45	50	40	55	24	40	42	34	37	42	462
	2017	33	28	47	52	28	43	43	30	40	34	53	43	474
	2018*	29	13	30	38	23	34	45	37	42	54	30	33	408
	2019*	45	47	58	44	56	54	0	0	0	0	0	0	304
* Trade permits count not included as in previous years														
<b>BUILDING VALUES FOR PERMITS ISSUED</b>														
<b>TOTAL BUILDING VALUES</b>	2015	\$1,384,631	\$1,560,716	\$2,916,520	\$3,567,237	\$2,999,918	\$4,280,357	\$5,272,378	\$3,107,731	\$2,625,563	\$2,303,913	\$1,931,893	\$6,252,403	\$ 38,103,260
	2016	\$1,817,981	\$2,555,455	\$5,542,458	\$3,711,821	\$2,447,891	\$5,181,921	\$3,611,179	\$1,817,783	\$3,089,971	\$1,889,279	\$2,028,590	\$2,937,783	\$ 36,632,112
	2017	\$857,767	\$827,724	\$4,859,777	\$2,066,132	\$1,512,789	\$3,676,118	\$1,904,915	\$2,359,988	\$2,846,545	\$1,957,646	\$1,897,110	\$3,479,285	\$ 28,245,796
	2018	\$2,541,433	\$1,075,551	\$3,544,096	\$2,513,241	\$3,834,995	\$5,693,348	\$3,156,593	\$4,729,005	\$3,637,992	\$1,791,222	\$2,169,284	\$2,421,169	\$ 37,107,929
	2019	\$1,991,054	\$2,502,719	\$5,639,238	\$4,695,173	\$3,057,597	\$3,228,152	\$0	\$0	\$0	\$0	\$0	\$0	\$ 21,113,934

Category	Year	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	TOTAL
LAND DISTURBING PERMITS ISSUED														
LAND DISTURBING PERMITS	2015	6	5	9	10	10	12	15	16	3	5	10	5	106
	2016	12	11	8	14	10	17	7	6	11	3	9	9	117
	2017	3	2	17	7	7	9	6	6	15	8	7	14	101
	2018	10	4	16	13	11	17	13	7	9	6	7	8	121
	2019	8	12	16	9	14	10	0	0	0	0	0	0	69
INSPECTIONS COMPLETED														
TOTAL INSPECTIONS	2015	105	137	146	214	113	232	193	181	208	206	149	149	2,033
	2016	116	91	153	157	155	214	249	230	197	181	184	172	2,099
	2017	159	144	171	141	177	152	202	182	153	183	181	169	2,014
	2018	163	148	173	186	215	176	164	220	144	221	154	141	2,105
	2019	237	207	232	297	305	246	0	0	0	0	0	0	1,524
FEES COLLECTED														
Building Permits	2015	\$6,731	\$8,351	\$13,711	\$16,037	\$13,508	\$16,628	\$14,931	\$18,895	\$10,411	\$8,558	\$10,381	\$9,575	\$ 147,717
	2016	\$11,850	\$11,954	\$11,576	\$14,889	\$8,447	\$18,588	\$12,947	\$7,537	\$11,285	\$12,548	\$8,361	\$11,213	\$ 141,195
	2017	\$4,060	\$3,660	\$22,692	\$9,249	\$6,703	\$11,948	\$9,494	\$7,790	\$13,169	\$6,895	\$9,022	\$12,886	\$ 117,568
	2018	\$8,988	\$4,311	\$9,939	\$14,765	\$13,796	\$23,633	\$14,993	\$8,748	\$10,826	\$12,613	\$9,556	\$14,570	\$ 146,738
	2019	\$11,377	\$13,617	\$14,005	\$14,308	\$11,228	\$16,260	\$0	\$0	\$0	\$0	\$0	\$0	\$ 80,795
Land Disturbing Permits	2015	\$1,775	\$875	\$1,425	\$3,425	\$1,750	\$1,850	\$2,325	\$3,338	\$1,085	\$2,819	\$10,450	\$2,298	\$ 33,415
	2016	\$3,200	\$2,575	\$1,700	\$1,950	\$2,250	\$2,200	\$4,020	\$875	\$28,074	\$2,000	\$1,450	\$1,100	\$ 51,494
	2017	\$475	\$800	\$7,000	\$1,523	\$2,366	\$2,425	\$1,733	\$7,784	\$2,100	\$2,050	\$1,000	\$1,625	\$ 30,881
	2018	\$1,450	\$5,975	\$1,890	\$1,625	\$1,625	\$2,850	\$1,625	\$1,175	\$1,125	\$875	\$10,675	\$2,150	\$ 33,040
	2019	\$1,000	\$1,500	\$1,625	\$1,125	\$3,553	\$1,250	\$0	\$0	\$0	\$0	\$0	\$0	\$ 10,053
Zoning Permits/ Proffers	2015	\$1,200	\$1,000	\$1,650	\$2,600	\$1,500	\$1,850	\$1,850	\$2,400	\$1,650	\$1,050	\$900	\$850	\$ 18,500
	2016	\$1,150	\$1,250	\$1,800	\$2,450	\$1,650	\$2,700	\$1,150	\$1,150	\$1,900	\$1,050	\$900	\$850	\$ 18,000
	2017	\$400	\$1,000	\$2,400	\$950	\$1,500	\$1,800	\$1,245	\$1,250	\$1,600	\$1,050	\$1,250	\$1,550	\$ 15,995
	2018	\$1,400	\$800	\$1,750	\$1,600	\$1,400	\$2,200	\$2,050	\$1,400	\$1,050	\$1,400	\$700	\$1,400	\$ 17,150
	2019	\$1,200	\$1,800	\$2,200	\$1,550	\$2,050	\$1,350	\$0	\$0	\$0	\$0	\$0	\$0	\$ 10,150
TOTAL FEES	2015	\$9,706	\$10,226	\$16,786	\$22,062	\$16,758	\$20,328	\$19,106	\$24,633	\$13,146	\$12,427	\$21,731	\$12,723	\$ 199,632
	2016	\$16,200	\$15,779	\$15,076	\$19,289	\$12,347	\$23,488	\$18,117	\$9,562	\$41,259	\$15,598	\$10,711	\$13,263	\$ 210,689
	2017	\$4,935	\$5,460	\$32,092	\$11,722	\$10,569	\$16,173	\$12,472	\$16,824	\$16,869	\$9,995	\$11,272	\$16,061	\$ 164,444
	2018	\$11,838	\$11,086	\$13,579	\$17,990	\$16,821	\$28,683	\$18,668	\$11,323	\$13,001	\$14,888	\$20,931	\$18,120	\$ 196,928
	2019	\$13,577	\$16,917	\$17,830	\$16,983	\$16,831	\$18,860	\$0	\$0	\$0	\$0	\$0	\$0	\$ 100,998



## TRANSACTIONS BY USER REPORT (06/01/2019 TO 06/30/2019) FOR FLUVANNA COUNTY BUILDING AND PLANNING DEPARTMENT

Selected Users: Valencia Porter

Invoice #	Fee Name	Transaction Date	Transaction Type	Payment Method	Paid Amount
<b>Valencia Porter</b>					
<b>BR19-0110</b>					
INV-00001173	2% State Surcharge	06/20/2019	Fee Payment	Check #20346	\$16.46
	Electrical: Per SqFt	06/20/2019	Fee Payment	Check #20346	\$149.70
	Gas	06/20/2019	Fee Payment	Check #20346	\$45.00
	HVAC: Residential (Use Groups R5) - each system	06/20/2019	Fee Payment	Check #20346	\$90.00
	One/two fam. dwelling, R5, finished living space	06/20/2019	Fee Payment	Check #20346	\$449.10
	Plumbing flat fee	06/20/2019	Fee Payment	Check #20346	\$30.00
	Plumbing, per fixture	06/20/2019	Fee Payment	Check #20346	\$104.00
	Zoning Permit: \$100.00 Primary Structures	06/20/2019	Fee Payment	Check #20346	\$100.00
<b>BR19-0173</b>					
INV-00001156	2% State Surcharge	06/14/2019	Fee Payment	Cash	\$0.90
	Basement, unfinished space	06/14/2019	Fee Payment	Cash	\$45.00
<b>BR19-0174</b>					
INV-00001165	2% State Surcharge	06/20/2019	Fee Payment	Check #222	\$5.36
	Electrical: Base fee	06/20/2019	Fee Payment	Check #222	\$45.00
	Storage structure, unfinished interior, res SqFt	06/20/2019	Fee Payment	Check #222	\$172.80
	Zoning Permit: \$50.00 Accessory Buildings	06/20/2019	Fee Payment	Check #222	\$50.00
INV-00001166	2% State Surcharge	06/20/2019	Fee Payment	Check #224	\$0.60
	Plumbing flat fee	06/20/2019	Fee Payment	Check #224	\$30.00
<b>BR19-0178</b>					
INV-00001157	2% State Surcharge	06/14/2019	Fee Payment	Cash	\$1.90
	Basement, unfinished space	06/14/2019	Fee Payment	Cash	\$45.00
	Zoning Permit: \$100.00 Primary Structures	06/14/2019	Fee Payment	Cash	\$50.00
<b>BR19-0183</b>					
INV-00001172	2% State Surcharge	06/20/2019	Fee Payment	Check #1990	\$2.90
	Basement, unfinished space	06/20/2019	Fee Payment	Check #1990	\$45.00
	Zoning Permit: \$100.00 Primary Structures	06/20/2019	Fee Payment	Check #1990	\$100.00
<b>BSP19:0004</b>					
INV-00001171	Boundary/Physical Survey, Easement, Correction	06/20/2019	Fee Payment	Cash	\$50.00
<b>BZA19:0003</b>					
INV-00000951	Sign Deposit for Public Hearing	06/20/2019	Refund	Check #000	(\$90.00)
<b>ER19-0154</b>					
INV-00001160	2% State Surcharge	06/14/2019	Fee Payment	Check #002632	\$0.90
	Electrical: Base fee	06/14/2019	Fee Payment	Check #002632	\$45.00
<b>ER19-0155</b>					
INV-00001161	2% State Surcharge	06/14/2019	Fee Payment	Check #7016	\$0.90
	Electrical: Base fee	06/14/2019	Fee Payment	Check #7016	\$45.00
<b>ER19-0164</b>					
INV-00001175	2% State Surcharge	06/20/2019	Fee Payment	Cash	\$0.90
	Electrical: Base fee	06/20/2019	Fee Payment	Cash	\$45.00
<b>FP19-0001</b>					
INV-00001149	2% State Surcharge	06/14/2019	Fee Payment	Check #17840	\$0.90

# TRANSACTIONS BY USER REPORT (06/01/2019 TO 06/30/2019)

Invoice #	Fee Name	Transaction Date	Transaction Type	Payment Method	Paid Amount
	Permit renewals	06/14/2019	Fee Payment	Check #17840	\$45.00
<b>PR19-0080</b>					
INV-00001130	2% State Surcharge	06/06/2019	Fee Payment	Check #2590	\$1.88
	Plumbing flat fee	06/06/2019	Fee Payment	Check #2590	\$30.00
	Plumbing, per fixture	06/06/2019	Fee Payment	Check #2590	\$64.00
<b>PV19-0014</b>					
INV-00001129	2% State Surcharge	06/06/2019	Fee Payment	Check #1122	\$0.90
	Electrical: Base fee	06/06/2019	Fee Payment	Check #1122	\$45.00
<b>SDP19:0006</b>					
INV-00001128	Site Plan Review: Minor Plan	06/04/2019	Fee Payment	Check #2888	\$400.00
<b>SUB18:0038</b>					
INV-00001162	Subdivision: Resubmission of Prelim/Final Plat	06/14/2019	Fee Payment	Check #4156	\$100.00
<b>SUB19:0011</b>					
INV-00001158	Subdivision: GIS Fee (per lot)	06/14/2019	Fee Payment	Check #4120	\$50.00
		06/14/2019	Fee Payment	Check #4120	\$50.00
	Subdivision: Minor	06/14/2019	Fee Payment	Check #4120	\$500.00
<b>SUB19:0012</b>					
INV-00001164	Boundary Adjustment	06/20/2019	Fee Payment	Cash	\$100.00
<b>SUP19:0005</b>					
INV-00001117	Sign Deposit for Public Hearing	06/04/2019	Fee Payment	Check #1006	\$90.00
<b>VALENCIA PORTER</b>				<b>TOTAL CASH:</b>	<b>\$338.70</b>
				<b>TOTAL CHECK:</b>	<b>\$2,905.40</b>
				<b>TOTAL REFUND:</b>	<b>(\$90.00)</b>
				<b>NET TOTAL:</b>	<b>\$3,154.10</b>
<b>GRAND TOTALS</b>				<b>TOTAL CASH:</b>	<b>\$338.70</b>
				<b>TOTAL CHECK:</b>	<b>\$2,905.40</b>
				<b>TOTAL REFUND:</b>	<b>(\$90.00)</b>
				<b>NET TOTAL:</b>	<b>\$3,154.10</b>

**FLUVANNA COUNTY PLANNING COMMISSION**  
**REGULAR MEETING MINUTES**  
**County Administration Building, Morris Room**  
**June 11, 2019**  
**7:00 p.m. Regular Meeting**

**MEMBERS PRESENT:**

Barry Bibb, Chairman  
Ed Zimmer, Vice Chairman  
Lewis Johnson  
Gequetta "G" Murray-Key  
Patricia Eager, Board of Supervisors Representative

**ALSO PRESENT:**

Eric Dahl, DCA/Interim Director of Community Development  
Brad Robinson, Senior Planner  
Holly Steele, Planner  
Fred Payne, County Attorney

**ABSENT:**

Howard Lagomarsino  
Valencia Porter, Senior Program Support Assistant

1. **Open the Regular Meeting:**

At 7:00p.m., Chairman Bibb called the Regular Meeting into session, followed by the Pledge of Allegiance and a moment of silence.

2. **Director's Report:** Eric Dahl, DCA/Interim Director of Community Development

**Board of Supervisors Actions:**

May 15, 2019

**SUP 19:03 Mike Brookman** – A request for a special use permit to construct a specialty retail store for the sale of firearms, with respect to 10.549 acres of Tax Map 52, Section 8, Parcel 2. The property is located off of James Madison Highway (State Route 15), approximately 0.1 miles east of the intersection with East River Rd. (State Route 6). The parcel is zoned A-1 Agricultural, General and located within the Rural Residential Planning Area and the Fork Union Election District. **(Approved 5-0)**

June 5, 2019

A resolution to initiate a Zoning Text Amendment to amend Chapter 22 of the Fluvanna County Code for yard setback regulations of the I-1, Industrial, Limited and I-2, Industrial, General zoning districts, and to schedule a future public hearing for formal Planning Commission consideration and recommendation to the Board of Supervisors. **(Approved 5-0)**

*The Board of Supervisors agreed by majority to call a Special Meeting and have a Joint Public Hearing with the Planning Commission on July 9, 2019 to consider the above Zoning Text Amendment.*

**Board of Zoning Appeals Actions:**

May 21, 2019

**BZA 19:03 – Keith Bray:** A request for a variance to Fluvanna County Code Sec.22-4-3(G) of the Zoning Ordinance to allow for the reduction of the minimum rear setback, from 75 feet to 51 feet, for the purpose of constructing a new 42' x 70' garage building with a gable roof with respect to 2.5 acres of Tax Map 8, Section 6, Parcel 2. The subject property is located in the Palmyra Election District at the intersection of Lake Monticello Road (Route 618) and White Oak Drive. The property is zoned A-1, Agricultural, General and is within the Rivanna Community Planning Area. **(Deferred 5-0)**

**BZA 19:04 – Greenberry's:** A request for a variance to Fluvanna County Code Sec.22-11-5 of the Zoning Ordinance to allow for the reduction of the minimum building setback required from a street right-of-way, from 50 feet to 25 feet, for the purpose of constructing a light manufacturing facility with respect to 1.095 acres of Tax Map 5, Section 24, Parcel 6. The subject property is located in the Columbia Election District within the Zion Station industrial subdivision

at the intersection of Zion Station Road (Route 1021) and Zion Station Court (Route 1022). The property is zoned I-1, Industrial, Limited and is within the Zion Crossroads Community Planning Area. **(Deferred 5-0)**

**Technical Review Committee for May 9, 2019:**

**SDP 19:04 Virginia Electric and Power Co.** – A site development plan request to construct a new centralized water treatment system and remove the existing centralized source water treatment system, with respect to 87.82 acres of Tax Map 59, Section 6, Parcels 1 and 2. The property is zoned I-1, Industrial, Limited and located on the south side of State Route 656 (Bremo Road) approximately .97 miles southeast of its intersection with State Route 15 (James Madison Highway). The property is located in the Fork Union Election District and is within the Rural Residential Planning Area.

3. **Public Comments:**

None

4. **Minutes:**

Minutes of April 9, 2019

Murray-Key made a motion to approve the April 9, 2019 Planning Commission minutes as presented. Seconded by Johnson. The motion carried by a vote of 4-0. AYE: Bibb, Johnson, Zimmer, Murray-Key. NAY: None ABSTAIN: None ABSENT: Lagomarsino

Minutes of May 7, 2019

Murray-Key made a motion to approve the May 7, 2019 Planning Commission minutes as presented. Seconded by Zimmer. The motion carried by a vote of 4-0. AYE: Bibb, Johnson, Zimmer, Murray-Key. NAY: None ABSTAIN: None ABSENT: Lagomarsino

5. **PUBLIC HEARINGS:**

None

6. **PRESENTATIONS:**

None

7. **SITE DEVELOPMENT PLANS:**

**SDP 19:04—Virginia Electric & Power—Holly Steele, Planner**

- Request for approval of a sketch plan to install a new centralized water treatment system in an area formerly used for warehouse space, with respect to approximately 34.5 acres of Tax Map 59, Section 6, Parcels 1 and 2;
- Parcel is zoned I-1 and is located within the Rural Residential Planning Area;
- Adjoining parcels are zoned I-1 and A-1.

**Conclusion:**

- Sketch plan is a request to install a new centralized water treatment system in an area formerly used for warehouse space, with respect to approximately 34.5 acres of Tax Map 59, Section 6, Parcels 1 and 2.
- Appears to meet the requirements of zoning ordinance;
- Final site plan that complies with all aspects of the zoning ordinance must be submitted for final review and approval from all agencies;
- Staff recommends approval of SDP 19:04, subject to the three (3) conditions listed in the staff report and on the following slide.
- Sketch plan is a request to install a new centralized water treatment system in an area formerly used for warehouse space, with respect to approximately 34.5 acres of Tax Map 59, Section 6, Parcels 1 and 2.
- Appears to meet the requirements of zoning ordinance;
- Final site plan that complies with all aspects of the zoning ordinance must be submitted for final review and approval from all agencies;
- Staff recommends approval of SDP 19:04, subject to the three (3) conditions listed in the staff report and on the following slide.

### **Recommended Conditions**

1. Meet all final site plan requirements which include, but are not limited to, providing parking, landscaping, and outdoor lighting;
2. Meet all required Erosion and Sedimentation Control regulations;
3. Meet all VDOT requirements.

### **Motion SDP 19:04:**

Zimmer moved to approve SDP 19:04, a sketch plan request to install a new centralized water treatment system in an area formerly used for warehouse space, with respect to approximately 34.5 acres of Tax Map 59, Section 6, Parcels 1 and 2; Seconded by Murray-Key. The motion carried by a vote of 4-0-1. AYE: Bibb, Johnson, Zimmer, Murray-Key. NAY: None ABSTAIN: None ABSENT: Lagomarsino

Murray-Key moved to approve an exception to Sec. 22-11-11 of the zoning ordinance to not install sidewalks along the paved interior roads within the Bremono Power Station facility. Seconded by Johnson. The motion carried by a vote of 4-0. AYE: Bibb, Johnson, Zimmer, Murray-Key. NAY: None ABSTAIN: None ABSENT: Lagomarsino

8. **SUBDIVISIONS:**

None

9. **UNFINISHED BUSINESS:**

None

10. **NEW BUSINESS:**

11. **PUBLIC COMMENTS:**

None

12. **ADJOURN:**

Chairman Bibb adjourned the Planning Commission meeting of June 11, 2019 at 7:25p.m.

Minutes recorded by Valencia Porter, Senior Program Support Assistant.

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**Barry A. Bibb, Chairman**  
**Fluvanna County Planning Commission**

FLUVANNA COUNTY JOINT PLANNING COMMISSION, AND BOARD OF SUPERVISORS  
WORK SESSION MEETING MINUTES  
FLUVANNA COUNTY CIRCUIT COURT ROOM  
June 19, 2019  
4:00 p.m. WORK SESSION

**MEMBERS PRESENT:** Barry Bibb, Chairman  
Ed Zimmer, Vice Chairman  
Lewis Johnson  
Gequetta “G” Murray-Key  
Howard Lagomarsino

**BOARD OF SUPERVISORS:** John M. (Mike) Sheridan, Columbia District, Chair  
Tony O’Brien, Rivanna District, Vice Chair  
Donald W. Weaver, Cunningham District  
Mozell Booker, Fork Union District  
Patricia Eager, Palmyra District

**ALSO PRESENT:** Eric Dahl, DCA/Interim Director of Community  
Development Steven M. Nichols, County Administrator  
Brad Robinson, Senior Planner  
Holly Steele, Planner  
Fred Payne, County Attorney  
Valencia Porter, Senior Program Support Assistant  
Caitlin Solis, Clerk for the Board of Supervisors

**ABSENT:** None

1. **Open the Regular Meeting:**  
At 4:00p.m., Chairman Sheridan called to order Work Session, followed by the Pledge of Allegiance and a moment of silence.  
  
At 4:02p.m., Chairman Bibb called to order June 19, 2019 Work Session with the Board of Supervisors into order
2. **Introduction of the Property Maintenance, Fire Protection Code, and Business License:-**  
– Eric Dahl, DCA/Interim Director of Community Development

**Section 1—2018 County Code Updates**

Chapters:	Topics	Covers
5	BUILDINGS	Removal, Repair and Securing of Dangerous Buildings and Other Structures
10	GARBAGE, REFUSE AND WASTE	Trash, Garbage, Solid Waste, and Tires
15	MOTOR VEHICLES AND TRAFFIC	Abandoned and Inoperable Vehicles

**2019 Violation Breakdown (Jan-Apr)**

- Thru April 2019—43 violations
- All of 2018 – 44 violations

- This increase can be attributed to the following:
  - County Code amendments addressing trash/garbage on private property, solid waste/tires, inoperable vehicles, and abandoned vehicles.
  - Violations of the new ordinance were the most common violations in 2018 and so far in 2019.
  - Additionally, changes in the way that violations are administered has impacted the number of violations

Type of Violation	Number of Violations
Junkyard/ Junk/ Debris/ Trash	22
Inoperable Vehicles	8
SDP/ ZMP/ SUP/ ESC Violations	10
Nosie and Lighting	1
Camping	1
Setback Encroachment	1
<b>Total:</b>	<b>43</b>

**Section 2—Construction and Maintenance Issues**

**Virginia Uniform Statewide Building Code (USBC)**

- Comprised of three parts known as:
  - Part I—Virginia Construction Code (for commercial construction)
    - Included “Virginia Residential Code” (for residential construction)
    - **Currently applicable**
  - Part II—Virginia Existing Building Code (incorporates the Rehabilitation Code)
    - **Currently applicable**
  - Part III—Virginia Maintenance Code
    - **Not adopted by Fluvanna**

**Virginia Construction and Existing Building Codes:**

- **Part I- Virginia Construction Code**
  - Currently adopted and applied to all new structures, commercial and residential.
- **Part II—Virginia Existing Building Code**
  - The Virginia Existing Building Code contains optional regulations specific to the rehabilitation of existing buildings that may be used as an acceptable alternative to the [Virginia Construction Code](#).
  - Virginia Existing Building Code purpose:
    - Facilitate the rehabilitation of vacant, substandard or unsafe residential and commercial structures.
    - The general assembly declared that applying the Virginia Construction code to existing buildings in need of rehabilitation lead to the imposition of costly and time consuming requirement that result in a significant reduction in the amount of rehabilitation being done.

**Part III—Virginia Maintenance Code:**

- Provides regulations to protect occupants of existing buildings and structures from health and safety hazards arising from the improper maintenance and use of those buildings and structures.
  - Any local government may enforce the Virginia Maintenance Code and may assign enforcement responsibility to a local agency of its choice.
  - Cannot go beyond the VMC or sections, including rental inspection district.
- Localities can enforce on a complaint basis or can be pro-active by doing periodic inspections such as all apartments, hotels, or a geographical area.

- The process can be used to deal with unsafe buildings and demolition, including the appeals process by the owner. Also covers liens against the property/owner where the locality takes action to make safe or demolish a building

#### **Farm Use Building Code Requirements**

- Determine if structure truly meets Farm Use exemption
  - What is the primary use?
- If so, structure is exempt from code and no building permits required
- Frequent questions/ concerns beginning to arise
  - “Event Centers/Uses” spaces are “annoying” rural neighbors
  - How does any of this affect underlying land use status?
  - Why do these rural businesses get to pay less for public safety (e.g., sprinklers or other building code requirements) than similar urban businesses pay?

#### **Sport Blight Abatement Process:**

Used to allow the locality to repair or acquire any property that is deemed blighted.

Process:

1. The designee for the County (most likely the Building Official) shall make a preliminary determination that a property is blighted.
  - A. Send notice to owner why it has been determined as blighted.
  - B. Owner has 30 days to respond
2. If owners fail to respond in the 30 day period the county designee can request the property be declared as blighted by the local governing body. In this case that would be the county Board of Supervisors.
3. The county can then effect repairs and recover the costs from the owner. The county would have a lien on the property

#### **VBV Virginia Statewide Fire Prevention Code (SFPC)**

- **The SFPC prescribes regulations affecting or relating to maintenance of structures, processes and premises and safeguards to be complied with for the protection of life and property from the hazards of fire and explosion and for the handling, storage and use of fireworks, explosives or blasting agents, and provides for the administration and enforcement of such regulations.**
- **The Board of Housing and Community Development and the Virginia Fire Services Board, through a cooperative agreement, adopt and the SFPC.**
  - Technical requirements of the SFPC based on nationally recognized model codes and standards.
- **Enforcement of the SFPC is at the option of the local governments.**
  - The State Fire Marshal’s Office (<https://www.vafire.com/state-fire-marshals-office/>) has the authority to enforce the SFPC in those localities in which there is no local enforcement.
  - Fees may be charged by both the local enforcing agencies and the State Fire Marshal’s Office
- **The SFPC contains enforcement procedures that must be used by the enforcing agency.**
- **Local governments have authority to have fire prevention regulations more restrictive or more extensive in scope than the SFPC, provided such regulations do not affect the manner of construction, or materials to be used in the erection, alteration, repair, or use of a building or structure**

#### **Section 3—Goals**

##### **Options to Help Achieve the Goals:**

- Adopt the Virginia Maintenance Code

- Provides an option to resolve conflict with between tenants and landlords (and neighbors)
- Consistently apply Farm Use Exemption definitions
  - What is the primary use?
- Adopt the Statewide Fire Prevention Code
  - Safety for first responders, employees, and residents
- Adopt a Business License Fee requirement
  - Helps businesses be aware of and comply with local ordinances on the front end of their venture
- Implement a Zoning Compliance Certificate
  - For change of use or new uses regardless of it being a new construction
  - Must have Business License Fee for this to work??
- Require a Building Occupancy Permit
  - For brick & mortar and home-based businesses to ensure building code compliance/verification is a component of application

## **Discussion and Direction**

### **1. Business License Information**

- Process for Starting a New Business in Fluvanna
  - Community Development
  - VDOT
  - Commissioner of the Revenue
  - Clerk of the Court
  - State Corporation Commission (SCC)

### **2. Current Business Tracking Practices**

- Commissioner of the Revenue enters new businesses into real estate, BPP, and M&T tax rolls, as appropriate, when a new business is identified by:
  - COR staff research (e.g., site visits, local paper, social media, etc
  - Economic Development, Planning, Zoning, and Building Inspection action notifications
  - Work of mouth
  - Zoning complaints, etc.,

## **Questions, comments, and Concerns:**

**Mr. Lagomarsino:** I am the Fire Official for Albemarle County. You would have to adopt the fire code, apply to the pollution control board, then get your ordinance approved, it has to meet DEQ regulations, which have to deal with the admissions, which is natural products.

**Mr. Zoll:** You can always put in an ordinance that you can or you can't burn trash as long as there are people who go around picking up trash.

**Mr. Lagomarsino:** Yes you can burn land clearing debris in Albemarle

**Mr. Nichols:** We have people call from all over asking how/ where do I apply for a business license in Fluvanna, and the answer is NO, but the ladies downstairs in Planning and Zoning, building inspections, clerk's offices, and here in my office get calls all day every day.

**Mr. Nichols:** This happens all the time that businesses come and go and we don't know anything about them. If you want a business than they would need to apply with building, planning, health department, VDOT, and it can be a check list to make it safer for the business and public.

**Mrs. Murray-Key:** Has fire and rescue ever went on a call and been surprised what has been found?

**Chief Mike Brent:** Yes, once a person put in the license permit, a person can decide that they could put in the building whatever they want one day, and the next decide on something different, we don't know that it's in the building until after we get there and get surprise on what is on fire.

**Addison Mitchell:** I just want thank you for all of what you've done down in Columbia. It's going in such a good direction and it's just wonderful.

**Mr. Johnson:** I really see the positive direction for Columbia. It's really has come a long way for the whole county.

**Doug Wiley:** Any help that you can provide down Columbia is wonderful. Since things have improved there are a lot more people who can buy nice property now.

**Chairman Sheridan:** Everybody is entitled to their own opinion

**Mrs. Murray-Key:** I think that the people of the county wouldn't think that the ones who they trust (the board members) to put things in order is here today trying to make a decision on whether or not to have a structure license or to have something in black and white on paper to where they can have rules and regulations on file. Also we need to think that if the folks here wants to do business here, that they would need something in which require business and public safety. I think that the public will be upset to know that this isn't already in place.

**Chairman Sheridan:** The first thing we need to talk about is communication with all of us. There are going to be things that happen that we can't prevent. Public just didn't know a lot of different things. Road blocks which that goes back to communication. That's to make sure all businesses is on record. I think we definitely need to adopt something, I think we have to go into this with bits and pieces, because we are not going to throw it at everybody all at once. Let's chop it to make it fit us. We going to talk about the things we learn about today that need to be settle in our programs. Fire code, all the codes, maintenance code, state wide, and all the other items.

**Ms. Booker:** What are the advantages and disadvantages of not agreeing with the business license? Just so I can learn why

**ADJOURN:**

Chairman Sheridan adjourned the Joint Work Session at 5:50p.m

Chairman Bibb adjourned the Planning Commission Joint Work Session meeting of June 19, 2019 at 5:50p.m.

Minutes recorded by Valencia Porter, Senior Program Support Assistant.

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**Barry A. Bibb, Chairman**  
**Fluvanna County Planning Commission**



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# COUNTY OF FLUVANNA

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*"Responsive & Responsible Government"*

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## STAFF REPORT

**To:** Fluvanna County Planning Commission &  
Board of Supervisors  
**Case Number:** ZTA 19:01

**From:** Brad Robinson

**Date:** July 9, 2019

*General Information:* This request is to be heard by the Fluvanna County Planning Commission and Fluvanna County Board of Supervisors on Tuesday, July 9, 2019 at 7:00 pm in the Circuit Courtroom in the Fluvanna County Courts Building.

*Applicant/Representative:* Fluvanna County

*Requested Action:* Amend the Fluvanna County Zoning Ordinance

- *An Ordinance To Amend Chapter 22 Of The Fluvanna County Code By The Addition Of A New Subsection 22-11-5 And 22-12-5 To Reduce The Minimum Building Setbacks For Properties In Industrial Subdivisions.*

### **Background**

#### **Project Timeline:**

A recent variance case (BZA 19:04) heard by the Board of Zoning Appeals (BZA) initiated discussion about a need for the county to evaluate the front setback requirements for properties within industrial subdivisions. One unique aspect of this particular variance case was the property's location at the intersection of two streets which requires a front setback from both street frontages.

In an effort to expedite a process of amending the zoning ordinance, the county attorney drafted a resolution initiating a zoning text amendment which the Board of Supervisors approved by a vote of 5-0 at their meeting on June 5, 2019. The Board of Supervisors also agreed by majority to call a special meeting and have a joint public hearing with the Planning Commission on July 9, 2019 to consider the zoning text amendment.

Based on a pending text amendment and issues with the variance case not meeting all standards for a variance (Sec. 22-18-2-B), the case was denied by the Board of Zoning Appeals by a vote of 3-0 at their meeting on June 18, 2019.

(Attachment A)

## **Analysis**

Currently, properties within the I-1 (Industrial, Limited) and I-2 (Industrial General) zoning districts must meet the following setback requirements from a street right-of-way, in accordance with Sections 22-11-5 and 22-12-5 of the zoning ordinance, as follows:

Zoning	Building Setback	Parking Setback
I-1	100' from any street right-of-way (50' if said street is an access road within a subdivision for business or industrial uses and serves properties that contain industrial zoning district classifications only)	50' from any street right-of-way (25' if said street is an access road within a subdivision for business or industrial uses and serves properties that contain industrial zoning district classifications only)
I-2	200' from any street right-of-way	None specified

While the I-1 District does currently allow for some reduction of setbacks subject to their location within a business or industrial subdivision, the I-2 District requires a two-hundred foot (200') setback for all properties regardless of their location.

The draft ordinance proposes to completely remove the requirement of a minimum setback for properties within business or industrial subdivisions. Both the I-1 and I-2 districts would be similar in that buildings and accessory uses would only be required to be located in a manner that they provide safe and efficient access to, from and within the property.

Properties not located within a business or industrial subdivision would have to continue to comply with a 100' front setback requirement in the I-1 District or a 200' front setback requirement in the I-2 District.

The enclosed ordinance contains the full text of the proposed changes.

(Attachment B)

## **Comprehensive Plan**

The proposed amendment to the zoning ordinance as outlined above will help the County achieve several goals as set forth in the 2015 Comprehensive Plan:

### **Chapter 2 – Land Use and Community Design**

- A To enable well-planned, coordinated, and sustainable development to occur throughout the county.**

(1) Develop new zoning and subdivision regulations that will further the desired growth patterns and property uses, and to protect the rural preservation area, including such measures as:

(e) Adopt zoning and subdivision regulations that allow for higher-density, compact developments in the Zion Crossroads CPA.

## **Conclusion**

The proposed amendment to the Fluvanna County Zoning Ordinance will:

- Remove the requirement of a minimum building setback from a street right-of-way within industrial subdivisions;
- Allow flexibility with site design and building orientation on a site-specific basis;
- Encourage economic development in the County.

The Planning Commission and/or Board of Supervisors may also want to discuss reducing the current setback requirements as an alternative to no setback requirement from a street right-of-way. Staff research of the front setback requirement of industrial zoning districts in various localities is attached for this purpose.

(Attachment C)

## **Suggested Motion**

I move that the Planning Commission recommend [approval/denial/deferral] of ZTA 19:01, an ordinance to amend Chapter 22 of the Fluvanna County Code by the addition of a new Subsection 22-11-5 and 22-12-5 to reduce the minimum building setbacks for properties in industrial subdivisions.

I move that the Board of Supervisors [approve/deny/defer] ZTA 19:01, an ordinance to amend Chapter 22 of the Fluvanna County Code by the addition of a new Subsection 22-11-5 and 22-12-5 to reduce the minimum building setbacks for properties in industrial subdivisions.

## **Attachments**

A: Resolution No. 07-2019

B: Proposed Ordinance

C: Staff Research



# BOARD OF SUPERVISORS

County of Fluvanna  
Palmyra, Virginia

## RESOLUTION No. 07-2019

Be it resolved by the Fluvanna County Board of Supervisors, pursuant to Fluvanna County Code Sec. 22-20-1(c), that the Board intends to propose the following amendment to the Fluvanna County Code:

### ORDINANCE

#### **AN ORDINANCE TO AMEND CHAPTER 22 OF THE FLUVANNA COUNTY CODE BY THE ADDITION OF A NEW SUBSECTION 22-11-5 AND 22-12-5 TO REDUCE THE MINIMUM BUILDING SETBACKS FOR PROPERTIES IN INDUSTRIAL SUBDIVISIONS**

BE IT ORDAINED BY THE FLUVANNA BOARD OF SUPERVISORS, pursuant to Virginia Code Sections 15.2-2285, that the Fluvanna County Code be, and it is hereby, amended, by the amendment of Sections 22-11-5 and 22-12-5, as follows:

#### Sec. 22-11-5. Setback regulations.

Buildings and accessory uses shall be located not less than one hundred feet (100') from any street right-of-way and all parking lots shall be located not less than fifty feet (50') from any street right of way except that:

(A) Buildings and accessory uses may be located less than one hundred feet (100'), but not less than fifty feet (50'), from a street right-of-way, provided that said street:

- (i) is an access road within a subdivision for business or industrial uses and serves properties that contain industrial zoning district classifications only;
- (ii) is a cul-de-sac or an interior road; and

(B) All parking lots shall be located not less than twenty-five feet (25') from any street right of way.

The foregoing notwithstanding, the location of buildings and accessory uses shall at all times be located so as to provide safe and efficient access to, from and within the property, including sight distance, and turning, stacking and other traffic circulation features and facilities.

This shall be known as the "building setback line."

#### Sec. 22-12-5. Setback regulations.

Buildings shall be located not less than two hundred feet (200') from any street right-of-way. except that:

(A) Buildings and accessory uses may be located less than two hundred feet (200'), from a street right-of-way, provided that said street:

- (i) is an access road within a subdivision for business or industrial uses and serves properties that contain industrial zoning district classifications only;
- (ii) is a cul-de-sac or an interior road; and

(B) All parking lots shall be located not less than twenty-five feet (25') from any street right of way.

The foregoing notwithstanding, the location of buildings and accessory uses shall at all times be located so as to provide safe and efficient access to, from and within the property, including sight distance, and turning, stacking and other traffic circulation features and facilities.

This shall be known as the "setback line."

And be it further resolved that the public purpose for the proposed amendments is to encourage economic development and orderly growth within industrial subdivisions by proving for more efficient used of industrially zoned properties.

And be it further resolved that the proposed amendment be, and it is hereby, referred to the Planning Commission.

**THE FOREGOING RESOLUTION WAS DULY AND REGULARLY ADOPTED** by the Fluvanna County Board of Supervisors at the annual Organizational Meeting of the Board held on the 5<sup>th</sup> day of June, 2019;

	AYE	NAY	ABSTAIN	ABSENT	MOTION	SECOND
Mozell H. Booker, Fork Union District	✕					✕
Patricia B. Eager, Palmyra District	✕				✕	
Anthony P. O'Brien, Rivanna District	✕					
John M. Sheridan, Columbia District	✕					
Donald W. Weaver, Cunningham District	✕					

Attest:

  
 John M. Sheridan, Chair  
 Fluvanna County Board of Supervisors

**AN ORDINANCE TO AMEND CHAPTER 22, ARTICLE 11 AND ARTICLE 12 OF THE FLUVANNA COUNTY CODE BY CERTAIN AMENDMENTS TO SECTIONS AND SUBSECTIONS 22-11-5 AND 22-12-5, THEREOF, CONCERNING SETBACKS PERMITTED IN INDUSTRIAL, LIMITED, AND INDUSTRIAL, GENERAL**

BE IT ORDAINED BY THE FLUVANNA BOARD OF SUPERVISORS that the County Code be, and it is hereby, amended, in Chapter 22 by changes to subsection 22-11-5 AND 22-12-5:

**Article 11. Industrial, Limited, District I-1.**

Sec. 22-11-5. Setback regulations.

Buildings and accessory uses shall be located not less than one hundred feet (100') from any street right-of-way and all parking lots shall be located not less than fifty feet (50') from any street right of way except that:

(A) Buildings and accessory uses may be located less than one hundred feet (100'), but not less than fifty feet (50'), from a street right-of-way, provided that said street:

(i) is an access road within a subdivision for business or industrial uses and serves properties that contain industrial zoning district classifications only;

(ii) is a cul-de-sac or an interior road; and

(B) All parking lots shall be located not less than twenty-five feet (25') from any street right of way.

The foregoing notwithstanding, the location of buildings and accessory uses shall at all times be located so as to provide safe and efficient access to, from and within the property, including sight distance, and turning, stacking and other traffic circulation features and facilities.

This shall be known as the "building setback line."

**Article 12. Industrial, General, District I-2.**

Sec. 22-12-5. Setback regulations.

Buildings shall be located not less than two hundred feet (200') from any street right-of-way. except that:

(A) Buildings and accessory uses may be located less than two hundred feet (200'), from a street right-of-way, provided that said street:

(i) is an access road within a subdivision for business or industrial uses and serves properties that contain industrial zoning district classifications only;

(ii) is a cul-de-sac or an interior road; and

(B) All parking lots shall be located not less than twenty-five feet (25') from any street right of way.

The foregoing notwithstanding, the location of buildings and accessory uses shall at all times be located so as to provide safe and efficient access to, from and within the property, including sight distance, and turning, stacking and other traffic circulation features and facilities.

This shall be known as the "setback line."

Locality	Light Industrial	Heavy Industrial
Fluvanna County	I-1 District – 100 ft from any street right-of-way (50 ft if said street is an access road within a subdivision for business or industrial uses and serves properties that contain industrial zoning district classifications only)	I-2 District – 200 ft from any street right-of-way
Albemarle County	LI & HI Districts – 10 feet from the right-of-way or the exterior edge of the sidewalk if the sidewalk is outside of the right-of-way; for off-street parking or loading spaces 10 feet from any public street right-of-way	
Dinwiddie County	M-1 & M-2 Districts – Ten feet or more from any street right-of-way which is 50 feet or greater in width, or 35 feet or more from the center line of any street right-of-way less than 50 feet in width	
Goochland County	M-1 District – One hundred (100) feet from the right-of-way for primary roads including Routes 6, 250, 45 and 522. Seventy-five (75) feet from the right-of-way for all collector roads and twenty (20) feet from the right-of-way of local roads.	M-2 District – One hundred (100) feet from the right-of-way for primary roads including Routes 6, 250, 45 and 522. Seventy-five (75) feet from the right-of-way for all collector roads and twenty (20) feet from the right-of-way of local roads.
Henrico County	M-1 & M-2 Districts – 25 feet	M-3 District – 25 feet
Louisa County	Commercial or Industrial Subdivision streets: 40 feet from the edge of the right-of-way line. All roads shall be deemed to have a right-of-way width of at least 50 feet and setbacks should be measured accordingly from the edge of the right-of-way.	
Orange County	I-1 District – For setbacks from primary highways, see section 70-646 et seq. The setback from any secondary road or subdivision street shall be 50 feet from the right-of-way.	I-2 District – For setbacks from primary highways, see section 70-646 et seq. The setback from any secondary road or subdivision street shall be 35 feet from the right-of-way.
Roanoke County	I-1 District - 30 feet, or 20 feet when all parking is located behind the front building line.	I-2 District - 30 feet, or 20 feet when all parking is located behind the front building line.



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# COUNTY OF FLUVANNA

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*"Responsive & Responsible Government"*

132 Main Street  
P.O. Box 540  
Palmyra, VA 22963  
(434) 591-1910  
Fax (434) 591-1911  
[www.fluvannacounty.org](http://www.fluvannacounty.org)

## STAFF REPORT

**To:** Fluvanna County Planning Commission  
**Case Number:** SDP 19:05  
**Tax Map:** Tax Map 51, Section A, Parcel 129

**From:** Holly Steele  
**District:** Fork Union  
**Date:** July 9, 2019

**General Information:** This item is scheduled to be heard by the Planning Commission on Tuesday, July 9, 2019 at 7:00 p.m. in the Fluvanna County Administration Building Morris Room.

**Applicant:** Fluvanna County Administrator

**Owner:** Fluvanna County Board of Supervisors

**Representative:** Cyndi Toler, Fluvanna County Purchasing Officer

**Requested Action:** Approval to construct a fire training building, with respect to 10 acres of Tax Map 51, Section A, Parcel 129. The property is zoned I-1, Industrial, Limited and is located in the Fork Union Election District and is within the Fork Union Community Planning Area. (Attachment A)

**Location:** The property is located on James Madison Highway (Route 15), approximately 1 mile southeast of the intersection with East River Road (Route 6). (Attachment B)

**Existing Zoning:** I-1, Industrial, Limited

**Existing Land Use:** Fluvanna County Community Center

**Adjacent Land Uses:** Adjacent properties are zoned I-1, Industrial, Limited and A-1, Agricultural, General. (Attachment C)

**Comprehensive Plan:** Fork Union Community Planning Area

**Zoning History:** ZMP 92:02 rezoned the parcel from A-1, Agricultural to I-1, Industrial zoning. This rezoning was approved by the Fluvanna County Board of Supervisors on September 11, 1992.

### **Analysis:**

This application is for the construction of a fire training building to be located behind the existing Fluvanna Community Center. According to Fluvanna County Fire Chief Mike Brent, this building is a necessity for the county's Fire and Rescue personnel. Currently, fire and rescue workers and volunteers must travel to other counties and use their fire training facilities. The construction of this fire training facility will provide a much needed training center for Fluvanna County's emergency services workers.

The fire training building will 50' x 22' and constructed on an 80' x 52' building pad. The building is to be constructed behind the community center and will be accessed via a paved driveway with gravel shoulders on both sides. The driveway circles the entire building. At the entrance to the paved driveway, there will be a 20' wide double leaf gate to prevent access to the building during times other than when trainings are taking place. There will be a 6' tall fence constructed on both sides of the entrance gate.

In accordance with Sec. 22-11-5 of the zoning ordinance, the sketch plan is in compliance with the minimum building setback requirements.

(Attachment A)

#### *Parking/Roads*

The subject property has frontage along one state-maintained road, James Madison Highway (State Route 15). There is a parking lot at the front of the parcel surrounding the community center. The sketch plan does not indicate any new parking lots are to be constructed. The fire training building itself will not front on any private or public roads.

#### *Landscaping/Screening*

All landscaping should be in compliance with Article 24 of the Fluvanna County Zoning Ordinance. The sketch plan indicates there are three existing trees surrounding the area where the training building is to be constructed. The plan does not indicate that any new trees will be planted around the building. The combination of the large existing trees and the placement of the training facility behind the community center will provide significant screening of the building from James Madison Highway.

#### *Outdoor Lighting*

All outdoor lighting must be fully shielded and utilize full cut-off lighting fixtures per Sec. 22-25-5. More information is needed from the applicant in regards to outdoor lighting. Page C4.0 of the submitted sketch plan states that the owner will provide lighting information to the county for approval.

### *Stormwater Management*

Per page C1.1 of the sketch plan under “General Notes”, the engineer states that ground disturbance for this project is less than 10,000 sf. and, therefore, will not require a VMSP Permit or a stormwater management plan.

### **Technical Review Committee:**

The following comments were received by the Technical Review Committee on the Thursday, June 13<sup>th</sup> meeting:

1. Planning Department: Questioned the timeline of the project.
2. Economic Development: Questioned whether this project was similar to the fire training sites in Albemarle and Charlottesville.
3. Building Official: Stated that special inspections would be required for this project, but that this would be handled at a later time.
4. Fire Chief: Commented that the fire and rescue personnel currently have to go to other counties in order to complete their training. This building is greatly anticipated.
5. Emergency Services: No comments.
6. Erosion and Sediment Control: Pointed out that the plan shows disturbance outside of their ESC controls. Reminded the project manager that if there is greater than one acre of disturbance that a stormwater management (SWM) plan will be required by DEQ. The planned disturbance is less than one acre to avoid having to complete a SWM plan.
7. Sheriff's Department: No comments.
8. VDOT: Requested trip generation numbers. Would like numbers from the new building to be added with the numbers from the existing buildings in order to create the complete trip generation expectations for the site.
9. Health Department: Responded in person to Holly Steele stating that the applicant would be required to hire a private consultant in order to complete the soils work.
10. Chamber of Commerce: Responded via email on Friday, June 7<sup>th</sup> with no comments.
11. Department of Forestry: Responded via email on Monday, June 10<sup>th</sup> with no comments.

Mr. Benjamin Powell, the project manager for this project, followed up via email after the Technical Review Committee meeting. Mr. Powell spoke with the Health Department regarding the soils test and was advised that soils work was not necessary since the building will not include a bathroom. Additionally, Mr. Powell reached out to Mr. John Wilson from VDOT to clarify the process of collecting trip generation numbers for this project.

(Attachment D)

### **Conclusion:**

The submitted sketch plan appears to meet the sketch plan requirements of Section 22-23-8.A of the Fluvanna County Zoning Ordinance. Additionally, this fire training building will provide a great service to Fluvanna County's Fire and Rescue Personnel. Prior to final approval, a site development plan that meets the requirements of Articles 23 through 26 of the Fluvanna County Zoning Ordinance must be submitted for staff review and approval.

**Recommended Conditions:**

1. Meet all final site plan requirements which include, but are not limited to, providing parking, landscaping, and outdoor lighting;
2. Meet all required Erosion and Sedimentation Control regulations;
3. Meet all VDOT requirements.

**Suggested Motions:**

I move to approve SDP 19:05, a sketch plan request to construct a fire training building, with respect to 10 acres of Tax Map 51, Section A, Parcel 129, subject to the three (3) conditions listed in the staff report.

**Attachments:**

A – Application/Site Plan  
B – Aerial Vicinity Map  
C – Aerial Zoning Map  
E – TRC comment letter

Copy: Cyndi Toler, [ctoler@fluvannacounty.org](mailto:ctoler@fluvannacounty.org)  
Eric Dahl, [edahl@fluvannacounty.org](mailto:edahl@fluvannacounty.org)  
File



**COMMONWEALTH OF VIRGINIA  
COUNTY OF FLUVANNA  
Site Development Application**

**Owner of Record:** Board of Supervisors **Applicant of Record:** Steve Nichols, County Administrator

E911 Address: 132 Main St E911 Address: 132 Main St

Phone: see below Fax: see below Phone: (434) 591-1910 Fax: (434) 591-1913

Email: edahl@fluvannacounty.org Email: snichols@fluvannacounty.org

**Representative:** Cyndi Toler  
E911 Address: 132 Main Street  
Phone: 434-591-1930 Fax: (434) 591-1913  
Email: ctoler@fluvannacounty.org

**Tax Map and Parcel(s):** 51-A-129 **Deed Book Reference:** bk: 817 pg: 681  
**Acreage:** 9.82 **Zoning:** I-1 **Deed Restrictions?** ☒ No ☐ Yes (Attach copy)

**Location:** 5725 James Madison Hwy., Fluvanna County, VA

**Note:** If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.

Is property in Agricultural Forestal District? ☒ No ☐ Yes

If Yes, what district:

**Description of Property:** Undeveloped with an adjacent existing community center building

**Proposed Structure:** Fire Training Building

**Dimensions of Building:** 21.9' x 20.1'

**Lighting Standards on Site:** ☐ No ☒ Yes

**# of Employees:** 0

**# of Parking Spaces:** 0

**Noise Limitations:**

I declare that the statements made and information given on this application are true, full and correct to the best of my knowledge and belief. I agree to conform fully to all terms of any certificate or permit which may be issued on account of this application.

**Steve Nichols**

**Applicant Name (Please Print)**

**Applicant Signature and Date**

OFFICE USE ONLY		
Date Received: 5/21/2019	Fee Paid: waived	Application #: SDP 19:0005
Election District: Fork Union	Planning Area: F.U. Community Plan	Number of Lots:
<b>Total Fees Due at Time of Submittal</b>		
Sketch Plan: \$150.00	Minor Plan: \$550.00	Major Plan: \$1,100.00
<b>Additional Fees Due at Time of Review</b>		
Street Sign Installation:	\$200.00 Per Intersection	
Amendment of Plan	\$150.00	
Outdoor Lighting Plan Review*	\$ 50.00	
Landscape Plan Review*	\$ 50.00	
Tree Protection Plan Review*	\$ 50.00	
* If not part of a Site Plan Review		

Fluvanna County Department of Planning & Community Development \* Box 540 \* Palmyra, VA 22963 \* (434) 591-1910 \* Fax (434) 591-1911

This form is available on the Fluvanna County website: [www.fluvannacounty.org](http://www.fluvannacounty.org)

Form updated June 22, 2017

**Received**

**MAY 21 2019**

**Fluvanna County**



COMMONWEALTH OF VIRGINIA  
COUNTY OF FLUVANNA

Received  
MAY 21 2019

## Major Site Development Plan Final Plan Checklist **Fluvanna County**

Developed from Zoning Ordinance

This checklist (among others) must be completed and submitted at the time the final site development plan is submitted. **Any site development plan submitted for final review not accompanied by the completed checklists will be promptly returned to the submitter.**

Project Name: FORK UNION FIRE TRAINING BUILDING SITE

Tax Map(s) and Parcel Number(s): TM 51-A-129

Planning Commission Sketch Plan Approval Date: \_\_\_\_\_

Individual & Firm Completing Checklist: Tyson Catlett & Draper Aden Associates

Signature of Person Completing Checklist: *Tyson Catlett*

Date: 5/17/2019

The site plan shall be prepared by a qualified person. Final site plans shall be certified by an architect, landscape architect, engineer, or land surveyor licensed to practice in Virginia.

### Checklist for Final Major Site Development Plans

#### Administration:

☒ 3 folded full-size clearly legible blue or black line copies [22-23-8.1]

#### General:

☒ Scale not less than 1"=20' [22-23-5.B]

☒ Dimensions in feet & decimals of feet to the closest one hundredth of a foot [22-23-5.E]

☒ If more than 1 sheet, match lines are required indicating where several

#### COUNTY STAFF ONLY

Staff: \_\_\_\_\_

Date Received: \_\_\_\_\_

Date Reviewed: \_\_\_\_\_

Additional Notes: \_\_\_\_\_

- ☒ Proposed title of project and name of engineer, architect, landscape architect, surveyor, and developer **[22-23-6.A]**
- ☒ Signature panel for Director of Planning to indicate approval **[22-23-6.B]**
- ☒ North arrow, scale graphic (1"=20'), and date **[22-23-6.C]**
- ☒ Vicinity Map **[22-23-6.D]**
- ☒ Limit of one-hundred-year floodplain, as defined in Sec. 22-22-1 **[22-23-6.T]**
- ☒ Location of any wetlands **[22-23-6.U]**
- ☒ Location & dimensions of proposed recreation or open space, and required amenities and improvements **[22-23-6.V]**

- ☒ Existing zoning & zoning district boundaries on property in development & on surrounding properties **[22-23-6.E]**
- ☒ Property boundaries in the development, including bearings & distances **[22-23-6.F]**
- ☒ Existing property lines, existing streets or rights-of-way opened or unopened; buildings, watercourses, and lakes; & other existing physical features in or adjoining the project **[22-23-6.G]**
- ☒ Building setback lines **[22-23-6.I]**
- ☒ Location of all proposed buildings & structures, accessory and main; number of stories and height **[22-23-6.I]**
- ☒ Proposed general uses for each building; & number, size, and type of dwelling units if applicable **[22-23-6.I]**

**N/A** Type, location, height, and materials of all existing and proposed fences and walls [22-23-6.J]

☒ Existing & proposed topography and contour lines of the development site with a contour interval of 2 feet or less for major site plans, 5 feet or less for minor site plans, supplemented where necessary by spot elevations [22-23-6.L]

- ✗ Location & size of sanitary and storm sewers, gas lines, water mains, culverts, and other underground structures **[22-23-6.M]**
- ✗ All overhead utilities and supporting poles in or affecting the development area, including existing and proposed facilities & easements for these facilities **[22-23-6.M]**
- ✗ All new electrical, telephone, cable television, fiber optic and other utility lines

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on the site shall be installed underground [22-23-6.Y]

- ☒ All public water supply and sewerage systems shall comply with the provisions hereof, with all applicable approvals of Fluvanna County and the Virginia Department of Health [22-23-7.H]

### Streets and Traffic:

- ☒ Location, dimension, & character of construction of proposed streets, alleys, & driveways **[22-23-6.N]**
- ☐ Location, type and dimensions of means of ingress and egress to the site **[22-23-6.N]**
- ☐ When proposed streets intersect with or adjoin existing streets, both edges of existing pavement surface or curb and gutter must be indicated for a minimum of 150 feet or the length of connection, whichever is the greater distance **[22-23-6.N]**
- ☒ All paving, including, without limitation, gravel or other pervious surfaces, shall be of a design and quality to support the traffic which can reasonably be expected to be generated by the proposed use, as required by Article 22-26 Off-Street Parking and Loading **[22-23-6.S]**
- ☐ All streets and highway construction standards and geometric design standards shall be in accordance with those specified by Fluvanna County and VDOT **[22-23-7.A]**
- ☐ The pavement of vehicular travel lanes, driveways, or alleys designed to permit vehicular travel on the site & to and from adjacent property & parking areas **[22-23-7.B]**
- ☐ Widening or extension of the nearest abutting developed street shall be provided as required by Fluvanna County and VDOT **[22-23-7.E]**
- ☐ Where the proposed development does not abut a developed public street, a plan of access shall be submitted for approval in conjunction with the site plan **[22-23-7.E]**
- ☐ Traffic control devices, signs, and pavement markings shall be required. Electric traffic control devices shall be provided by the developer where the anticipated traffic volumes from the proposed development exceeds the thresholds established by VDOT **[22-23-7.F]**

**Parking (Also required – Parking & Loading Checklist):**

- N/A** Location of all existing and proposed off-street parking & parking bays, loading spaces, and pedestrian walkways, indicating types of surfacing, dimensions of stalls, width of aisles and a specific schedule showing the number of parking spaces. See Article 22-26, Off-street Parking and Loading Requirements **[22-23-6.O]**
- N/A** Cul-de-sacs may not be construed or employed as a parking area. Suitable easements for future public water and sewer facilities necessary to serve the property shall be indicated on the plan **[22-23-6.X]**

**STAFF REVIEW ONLY**  
Final Major SDP con't

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**N/A** All parking and other vehicular areas shall be so designed as to provide safe and convenient access by all vehicles which can reasonably be anticipated to use the site, including delivery and service vehicles as well as customer and employee vehicles  
**[22-23-7.C]**

**N7A** Location on the site of all living trees with a diameter of 12 inches or greater at DBH (diameter at breast height) proposed to be removed.

**Outdoor Lighting and Signage (Also required – Outdoor Light Control Checklist):**

**N7A** The location, height, and character of all outdoor lighting systems. See Article 22-25 Outdoor Light Control **[22-23-6.Q]**

**Stormwater / Erosion and Sediment Control:**

- ✗ All drainage structures and facilities shall be adequate to provide efficient and complete drainage of surface waters from the site into adequate channels. They shall comply with the standards and applicable provisions of the Virginia Erosion and Sedimentation Control Handbook, Drainage Manual of the VDOT, and the regulations of the Virginia DEQ **[22-23-7.G]**
- ✗ Provisions for the adequate disposition of surface water in accordance with design criteria and construction standards of the Fluvanna County, indicating location, sizes, types and grades of ditches, catch basins, and pipes; and connection to existing drainage systems **[22-23-7.I]**
- ✗ Provisions and schedule for approval of adequate control of erosion and sedimentation, in accordance with the Fluvanna County Erosion and Sedimentation Control program **[22-23-7.J]**

N/A All special zoning requirements attached directly to the site as a result of the issuance of any Special Use Permit, variance, or rezoning. Proposed changes in zoning,

**STAFF REVIEW ONLY**  
Final Major SDP con't

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**N/A** Features of historic, cultural, scientific, or scenic significance as identified in the Comprehensive Plan, by the Director of Planning, or by any County department or state agency having site plan review responsibilities, or by the Virginia Department of Historic Resources the Virginia Department of Conservation and Recreation, or the Virginia Outdoors Foundation including, but not limited to, historic features, archaeological features, and graveyards **[22-23-6.H]**

**N/A** Any necessary notes required by the Director of Planning to explain the purpose of specific items on the plan **[22-23-6.W]**

- **This includes any site specific approval conditions**

**N/A** Site planning shall consider the future development of adjacent parcels as recommended by the Fluvanna County Comprehensive Plan or other approved local plan and as may be indicated by any filed site plan, whether approved or under review **[22-23-6.AA]**

**N/A** The site plan shall provide for safe and convenient vehicular and pedestrian circulation between sites to be occupied by complementary uses **[22-23-6.AA]**

**N/A** Safe and convenient pedestrian and bicycle access to, from, and within the site shall be provided **[22-23-7.D]**

**STAFF REVIEW ONLY**  
Final Major SDP con't

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SITE SUMMARY

CONTACT: CYNDI TOLER  
PURCHASING OFFICER  
COUNTY OF FLUVANNA  
132 MAIN ST.  
PALMYRA, VA 22963

TELEPHONE NO: 434-591-1930  
EMAIL: ctoler@fluvannacounty.org

SITE ADDRESS: 5725 JAMES MADISON HIGHWAY  
FLUVANNA COUNTY, VIRGINIA

ENGINEER: DRAPER ADEN ASSOCIATES  
110 AVON STREET  
CHARLOTTESVILLE, VA 22902

CONTACT: CAROLYN A. HOWARD, P.E.  
TELEPHONE NO. 434-295-0700  
EMAIL: CHOWARD@DAA.COM

PARCEL NO: TM 51-A-129

SITE COVERAGE: PROPOSED BUILDING AND ROAD 4% COVERAGE (0.39 AC./9.82 AC.)

TOTAL SITE AREA (PARCEL AREA): 9.82 AC

DISTURBED AREA: 0.98 AC

EXISTING IMPERVIOUS AREA: 5,207 SF

IMPERVIOUS AREA: 35,864 SF

PRESENT ZONING: I-1 (INDUSTRIAL, LIMITED)

PRESENT USE: COMMUNITY CENTER, PARKING, AND AMENITIES

PROPOSED USE: FIRE TRAINING BUILDING AND ACCESS ROAD

MAX. HEIGHT OF BUILDING: 60 FEET  
(A PUBLIC OR SEMI-PUBLIC BUILDING MAY BE ERECTED TO A HEIGHT OF SIXTY FEET (60') FROM GRADE PROVIDED THAT REQUIRED FRONT, SIDE AND REAR YARD EACH SHALL BE INCREASED ONE FOOT (1') FOR EACH FOOT IN HEIGHT OVER FORTY-FIVE FEET (45').)

BUILDING SETBACK: BUILDINGS AND ACCESSORY USES SHALL BE LOCATED NOT LESS THAN ONE HUNDRED FEET (100') FROM ANY STREET RIGHT-OF-WAY. ALL PARKING LOTS SHALL BE LOCATED NOT LESS THAN FIFTY FEET (50') FROM ANY STREET RIGHT OF WAY.ALL PARKING LOTS SHALL BE LOCATED NOT LESS THAN TWENTY-FIVE FEET (25') FROM ANY STREET RIGHT OF WAY.

YARD SETBACK: WHEN PERMITTED USES ADJOIN AGRICULTURAL, RESIDENTIAL, OR BUSINESS DISTRICTS THE MINIMUM YARD REQUIREMENTS SHALL BE FIFTY FEET (50'). ALL PARKING LOTS SHALL BE LOCATED NOT LESS THAN TWENTY-FIVE FEET (25') FROM ANY RESIDENTIAL OR AGRICULTURAL DISTRICT.

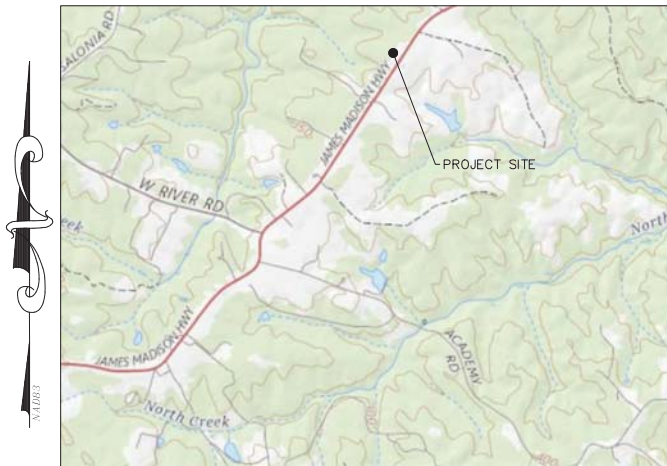
SITE PLAN

\* \* \*

# FORK UNION FIRE TRAINING BUILDING SITE

\* \* \*

FLUVANNA COUNTY, VIRGINIA



VICINITY MAP

1"=2000'

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF A FIRE TRAINING BUILDING AND SITE IMPROVEMENTS, INCLUDING A BUILDING PAD AND A PAVED DRIVE TO THE SITE.

\* \* \* \* \*

MAY 17, 2019

\* \* \* \* \*

DAA PROJECT #18060133-010303



NOTE: CONTRACTOR TO CONTACT MISS UTILITY (811) IN ADVANCE OF PLANNED WORK. ADVANCE TIME PERIOD SHALL BE IN ACCORDANCE WITH CURRENT MISS UTILITY GUIDELINES (www.missutilityofvirginia.com).

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DIRECTOR OF PLANNING SIGNATURE DATE

I HEREBY CERTIFY THAT I AM THE RESPONSIBLE LAND DISTURBER FOR THIS PROJECT AND THAT I HAVE A VALID CERTIFICATION FROM THE STATE OF VIRGINIA

*Carolyn A. Howard* VA PE LIC. #042775

SIGNATURE CERTIFICATION #

CAROLYN A. HOWARD 5/17/2019

NAME (PRINT) DATE

RESPONSIBLE LAND DISTURBER (RLD) FOR THE PURPOSES OF PLAN REVIEW IS CAROLYN A. HOWARD, PE OF DRAPER ADEN ASSOCIATES, PE#042775. CONTRACTOR TO PROVIDE THE RLD NAME AND CERTIFICATION NUMBER OF THE INDIVIDUAL OF RESPONSIBLE CHARGE PRIOR TO CONSTRUCTION.

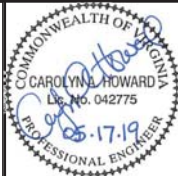
DRAPER ADEN ASSOCIATES REVIEW

THESE PLANS HAVE BEEN SUBJECTED TO TECHNICAL AND QUALITY REVIEWS BY:

NAME: TANYA S. EPPLEY 5/17/2019  
PROJECT DESIGNER SIGNATURE DATE

NAME: CAROLYN A. HOWARD, PE 5/17/2019  
PROJECT MANAGER SIGNATURE DATE

NAME: J. HAMILTON BUSHEY, PE 5/17/2019  
QUALITY REVIEWER SIGNATURE DATE



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• Virginia Beach, VA



COVER SHEET  
FORK UNION FIRE TRAINING  
BUILDING SITE  
FLUVANNA COUNTY, VIRGINIA

REVISIONS

DESIGNED BY: BTC

DRAWN BY: TSE

CHECKED BY: CAH

SCALE: NONE

DATE: MAY 17, 2019


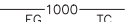

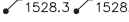

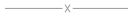
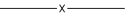
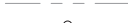
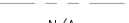




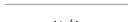

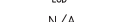



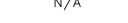
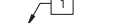










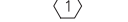
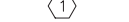

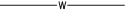






PROJECT NUMBER:  
18060133-010301

C1.0

GENERAL NOTES

1. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM FLUVANNA COUNTY.
2. AS DISTURBANCE IS LESS THAN 1.0 AC, A VSMP PERMIT IS NOT REQUIRED.
3. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND AT HIS EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
4. ALL PAVING MATERIALS AND DRAINAGE STRUCTURES SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, EXCEPT WHERE NEEDED OTHERWISE.
5. THE LOCATION OF EXISTING SEWER, WATER OR GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, IF THERE APPEARS TO BE A CONFLICT, OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS. FOR ASSISTANCE IN LOCATING EXISTING UTILITIES CALL "MISS UTILITY", 1-800-552-7001.
6. ALL WATER CONSTRUCTION AND MATERIALS SHALL CONFORM WITH THE LATEST STANDARDS AND SPECIFICATIONS OF FORK UNION SANITATION DISTRICT.
7. DAMAGE TO UTILITIES (INCLUDING UNDERGROUND) OR PROPERTY OF OTHERS BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS BY CONTRACTOR AT NO COST TO OWNER.
8. EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO LIKE-NEW CONDITION.
9. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
10. THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED.
11. ALL PROPOSED UTILITIES ARE TO BE INSTALLED UNDERGROUND INCLUDING ELECTRIC, TELEPHONE AND CATV.
12. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, ELECTRICITY, TELEPHONE, ETC.) SHALL BE INSTALLED AND TESTED SATISFACTORILY PRIOR TO COMMENCING ANY PAVING OPERATIONS WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.
13. THE CONTRACTOR SHALL NOTIFY FLUVANNA COUNTY AT LEAST 24 HOURS PRIOR TO STARTING WORK ON THIS PROJECT.
14. ALL GROUND COVER AND LANDSCAPING SHALL BE PROPERLY MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. DEAD PLANT MATERIALS SHALL BE REMOVED IN A REASONABLE TIME AND REPLACED DURING THE NORMAL PLANTING SEASON.
15. UNLESS OTHERWISE NOTED, ALL CONCRETE PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS III.
16. ALL EXCAVATION FOR UNDERGROUND PIPE INSTALLATION MUST COMPLY WITH OSHA STANDARDS FOR THE CONSTRUCTION INDUSTRY (29 CFR PART 1926).
17. VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
18. DEVIATIONS FROM, OR CHANGES TO THESE PLANS WILL NOT BE ALLOWED, UNLESS OTHERWISE APPROVED BY THE OWNER & ENGINEER.
19. MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO THE PLANS IF NECESSARY. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT. TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. REPAIR AT YOUR OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION. IF A UTILITY IS DAMAGED DURING CONSTRUCTION, STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.
20. PROPERLY SECURE THE CONSTRUCTION AREA AT ALL TIMES AGAINST UNAUTHORIZED ENTRY AND ADEQUATELY PROTECT EQUIPMENT, MATERIALS, AND COMPLETED WORK FROM THEFT AND VANDALISM. THE OWNER IS NOT RESPONSIBLE FOR THE LOSS OF ANY MATERIAL STORED AT THE SITE.
21. ALL TURF AREAS THAT ARE IMPACTED OR DISTURBED BY VEHICLES, EQUIPMENT, OR ACTIVITY SHALL BE REPAIRED, REGRADED, AND RESEEDDED TO THE SATISFACTION OF THE OWNER. ANY AREAS COMPACTED BY CONSTRUCTION TRAFFIC SHALL BE TILLED PRIOR TO SEEDING.
22. PERFORM ALL WORK USING DIMENSIONS SHOWN ON THESE PLANS. DO NOT USE SCALES, RULERS, DIVIDERS, MAP WHEELS OR OTHER MEASURING DEVICES TO DETERMINE SPATIAL RELATIONSHIPS ON THESE DRAWINGS.
23. ALL UNSUITABLE MATERIAL AS DETERMINED BY OWNER'S INSPECTOR SHALL BE REMOVED FROM THE CONSTRUCTION LIMITS OF PAVED AREAS.

GENERAL LEGEND

EXISTING		PROPOSED
	CONTOURS	
	GROUND ELEVATION	
	TREE LINE	
	DECIDUOUS TREE	N/A
	FENCE	
	PROPERTY LINE/ROW	
	IRON ROD FOUND	N/A
	IRON ROD SET	N/A
	MONUMENT FOUND	N/A
	MONUMENT SET	N/A
	BUILDING SETBACK	
	100 YEAR FLOOD ZONE	N/A
	LIMITS OF CONSTRUCTION	
	BENCHMARK	N/A
	BUILDING	
	DEMOLITION KEY	
	BOLLARD	
	BOREHOLE	
	STORM SEWER	
	STORM CLEANOUT	
	STORM MANHOLE	
	STORM DRAINAGE INLET	
	STORM STRUCTURE KEY	
	WATER	
	GATE VALVE	
	LIGHT POLE	

ABBREVIATIONS AND SYMBOLS

SYMBOLS

	AT
	CENTERLINE
	PROPERTY LINE
	DIAMETER
	DEGREE

ABBREVIATIONS

A	AREA
AC	ACRE(S)
AWWA	AMERICAN WATER WORKS ASSOCIATION
BC	BOTTOM OF CURB
BLDG.	BUILDING
BOTT.	BOTTOM
CF	CUBIC FEET
CG	CURB AND GUTTER
C.I.	CAST IRON
CI	CURB INLET
CIP	CAST IN PLACE
CJ	CONSTRUCTION JOINT
CLR.	CLEAR
C.O.	CLEANOUT
CONC.	CONCRETE
CONT.	CONTINUOUS
CY	CUBIC YARD(S)
D.B.	DEED BOOK
D.I.	DUCTILE IRON
DIA.	DROP INLET
DIA.	DIAMETER
DS	DOWNSPOUT
EA.	EACH
E.F.	EACH FACE
ELEV.	ELEVATION
EOP	EDGE OF PAVEMENT
EX.	EXISTING
EXP.	EXPANSION
E.W.	EACH WAY
FC	FACE OF CURB
FF	FINISHED FLOOR
FL	FLOW LINE
FT	FOOT (FEET)
GA	GAUGE

GALV.	GALVANIZED
GS	GROUND SHOT
ID	INSIDE DIAMETER
INV.	INVERT
JT.	JOINT
LAT	LATERAL
LB	POUND
LBS	POUNDS
LF	LINEAR FOOT (FEET)
MAT'L.	MATERIAL
MAX.	MAXIMUM
MFR.	MANUFACTURER
MH	MANHOLE
MIN.	MINIMUM
M.J.	MECHANICALLY JOINED
O.C.	ON CENTER
OD	OUTSIDE DIAMETER
PB	PARCEL BOOK
PL	PROPERTY LINE
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
REQ'D.	REQUIRED
R/W	RIGHT-OF-WAY
S	SLOPE
SAN.	SANITARY
SF	SQUARE FOOT (FEET)
SPEC	SPECIFICATION
SPECS	SPECIFICATIONS
SO.	SQUARE
STM	STORM
STD.	STANDARD
SW	SIDEWALK
SWM	STORM WATER MANAGEMENT
SY	SQUARE YARD(S)
TC	TOP OF CURB
TDC	TURNED DOWN CURB
TEMP.	TEMPORARY
TYP.	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VAR.	VARIABLE
VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
VESCH	VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK
WV	WATER VALVE
WWF	WELED WIRE FABRIC



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GENERAL NOTES AND ABBREVIATIONS  
FORK UNION FIRE TRAINING  
BUILDING SITE  
FLUVANNA COUNTY, VIRGINIA

REVISIONS	
DESIGNED BY:	BTC
DRAWN BY:	TSE
CHECKED BY:	CAH
SCALE:	NONE
DATE:	MAY 17, 2019
PROJECT NUMBER:	18060133-010301

C1.1



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EROSION CONTROL NARRATIVE

PROJECT DESCRIPTION  
PROPOSED FIRE TRAINING BUILDING INCLUDING SITE GRADING AND INFRASTRUCTURE IMPROVEMENTS ON AN EXISTING 9.82 AC. LOT IN FLUVANNA COUNTY, VIRGINIA.

EXISTING CONDITIONS

APPROXIMATELY  $\frac{1}{3}$  OF THE EXISTING SITE CLOSEST TO JAMES MADISON HIGHWAY HAS BEEN CLEARED, AND CONTAINS A COMMUNITY CENTER ON IT. THE REMAINING SOUTHERN PORTION OF THE SITE IS HEAVILY WOODED. THE SITE SLOPES TOWARDS AN EXISTING CONCRETE DITCH AND MANMADE CHANNEL AT THE NORTH WESTERN END OF THE PROPERTY AT A SLOPE OF APPROXIMATELY 3%.

SOILS

THE SOILS ON THE SITE, PER USDA NRCS SOIL MAPPING, ARE CLASSIFIED AS AK--APPLYING SANDY LOAM, UNDULATING PHASED, HYDROLOGIC SOIL GROUP (HSG) "B".

ADJACENT AREAS

THE SUBJECT PROPERTY IS BORDERED BY A WOODED LOT TO THE SOUTH--WEST; FIRE STATION OWNED BY THE COUNTY TO THE NORTH--EAST; AND A WOODED LOT TO THE NORTH--WEST.

CRITICAL EROSION AREAS

THERE ARE NO CRITICAL EROSION AREAS IDENTIFIED FOR THIS SITE.

STOCKPILING

TEMPORARY SOIL STOCKPILE AREA(S) WILL BE LOCATED ON THE SITE (SEE SHEET C3.0 FOR LOCATION). CARE SHALL BE TAKEN TO ENSURE PROPER EROSION AND SEDIMENTATION CONTROL OF THE SITE AT ALL TIMES.

STRUCTURAL PRACTICES

- TEMPORARY CONSTRUCTION ENTRANCE -- 3.02  
A STONE PAD, LOCATED AT THE POINT OF VEHICULAR INGRESS AND EGRESS TO THE CONSTRUCTION SITE, THE PURPOSE IS TO PREVENT OR REDUCE THE AMOUNT OF MUD TRANSPORTED TO THE PUBLIC ROAD. SEDIMENT DISLODGED OR WASHED FROM THE VEHICLE SHOULD BE CONTAINED WITHIN A PROPER SEDIMENT TRAPPING AREA. ALL VEHICLES ENTERING AND EXISTING A DISTURBED AREA SHALL USE THE ENTRANCE.
- SUPER SILT FENCING (WITH WIRE BACKING) -- 3.05  
TO BE INSTALLED DOWN SLOPE OF DISTURBED AREAS TO FILTER SEDIMENT LADEN RUNOFF.
- INLET PROTECTION -- 3.07  
TO BE INSTALLED ON EXISTING INLETS PRIOR TO CONSTRUCTION AND ALL PROPOSED INLETS AS THEY ARE INSTALLED TO FILTER SEDIMENT LADEN RUNOFF BEFORE ENTERING STORM DRAIN INLETS AND PIPING SYSTEMS.
- OUTLET PROTECTION -- 3.18  
OUTLET PROTECTION APPLICABLE TO THE OUTLETS OF ALL PIPES AND ENGINEERED CHANNEL SECTIONS.
- TREE PROTECTION -- 3.38  
TEMPORARY FENCE TO BE INSTALLED AROUND TREES OR VEGETATION TO REMAIN TO PREVENT DAMAGE DURING CONSTRUCTION. THE FENCING SHALL BE INSTALLED ALONG THE DRIP LINE OF THE TREE WHERE POSSIBLE. NO CONSTRUCTION TRAFFIC OR STORAGE OF MATERIALS IS ALLOWED WITHIN THE FENCING.

VEGETATIVE PRACTICES

GENERAL: A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUED AREAS NOT OTHERWISE PERMANENTLY STABILIZED BY CONCRETE, PAVEMENT OR LANDSCAPED MULCHED BEDS. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION. NEW VEGETATION SHALL BE MAINTAINED FOR ONE FULL YEAR AFTER PLANTING. NEW SEEDING SHALL BE SUPPLIED WITH ADEQUATE MOISTURE, ESPECIALLY LATE IN THE SEASON, AND IN ABNORMALLY HOT OR DRY WEATHER, STABILIZATION PRACTICES SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE APPROPRIATE VESCH STD. & SPEC. AND AS PER THE EROSION AND SEDIMENT CONTROL PLAN. SELECTION OF THE APPROPRIATE SEED MIXTURE FOR TEMPORARY SEEDING WILL DEPEND UPON THE TIME OF YEAR IT IS APPLIED.

- TOPSOILING -- 3.30  
A 2" TO 4" LAYER OF TOPSOIL SHALL BE APPLIED TO ALL LANDSCAPED AND GRASSED AREAS. THE TOPSOIL SHALL BE FREE OF ROCKS AND DEBRIS. TOPSOIL ALLOWS A STRONGER AND HEALTHIER STAND OF GRASS TO ESTABLISH QUICKLY TO STABILIZE UNPAVED AREAS OF THE SITE.
- TEMPORARY SEEDING -- 3.31  
TEMPORARY SEEDING SHALL BE APPLIED OVER ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE WITHIN 14 DAYS. AREAS SHALL BE RESEEDDED AS REQUIRED TO MAINTAIN A HEALTHY STAND OF VEGETATION WHICH IS CAPABLE OF PREVENTING EROSION. TEMPORARY SEEDING MIXES AND MAINTENANCE PROCEDURES SHALL BE AS DESCRIBED IN VESCH STD. & SPEC. 3.31.
- PERMANENT SEEDING -- 3.32  
PERMANENT SEEDING SHALL BE APPLIED TO ALL AREAS WITHIN SEVEN (7) DAYS OF ACHIEVING FINAL GRADE WHICH WILL NOT RECEIVE HARDSCAPE OR OTHER LANDSCAPE. PERMANENT SEEDING SHALL ALSO BE USED ON ALL AREAS NOT AT FINAL GRADE BUT WILL BE LEFT DORMANT FOR A PERIOD OF MORE THAN ONE (1) YEAR. IF CONFLICTS EXIST BETWEEN THE PROJECT SPECIFICATIONS AND THE VESCH STD. & SPEC. 3.32, THE MORE STRINGENT REQUIREMENT SHALL APPLY. PERMANENT SEEDING MIXES AND RATES, SOIL TESTING REQUIREMENTS AND MAINTENANCE PROCEDURES ARE FOUND IN VESCH STD. & SPEC. 3.32.
- MULCHING -- 3.35  
APPLICATION OF PLANT RESIDUES OR OTHER SUITABLE MATERIALS TO THE SOIL SURFACE TO PREVENT EROSION BY PROTECTING THE SOIL SURFACE FROM RAINDROP IMPACT AND REDUCING THE VELOCITY OF OVERLAND FLOW. IT IS ALSO USED TO FOSTER THE GROWTH OF VEGETATION BY INCREASING AVAILABLE MOISTURE AND PROVIDING INSULATION AGAINST EXTREME HEAT AND COLD. MULCHING WILL BE APPLIED THROUGHOUT CONSTRUCTION ON DENUED AREAS. APPLICATION RATES AND MULCHING TYPES ARE FOUND IN VESCH STD. & SPEC. 3.35.
- DUST CONTROL -- 3.39  
DUST CONTROL MEASURES SHALL BE USED OVER THE ENTIRE SITE TO REDUCE SURFACE AND AIR MOVEMENT OF DUST DURING LAND DISTURBANCE, DEMOLITION, AND CONSTRUCTION ACTIVITIES.

MANAGEMENT STRATEGIES

- CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
- THE CONSTRUCTION ENTRANCE, THE PROPOSED SILT FENCES, TREE PROTECTION AND INLET PROTECTION MUST BE INSTALLED FIRST WITH MINIMAL AMOUNTS OF CLEARING AND GRADING.
- STOCKPILES SHALL BE PROTECTED WITH SILT FENCING AT ALL TIMES AND SEEDDED IF LEFT TO REMAIN ON THIS SITE FOR A PERIOD OF MORE THAN 14 DAYS.

- TEMPORARY SEEDING OR OTHER STABILIZATION WILL FOLLOW IMMEDIATELY AFTER GRADING.
- THE CONTRACTOR (JOB SUPERINTENDENT) SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.
- WITHIN 30 DAYS AFTER ACHIEVING ADEQUATE STABILIZATION, THE TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE REMOVED ONLY WITH THE APPROVAL OF THE ENVIRONMENTAL INSPECTOR.

PERMANENT STABILIZATION

PERMANENT STABILIZATION SHALL BE APPLIED TO ALL DISTURBED AREAS THAT ARE TO BE LEFT DORMANT FOR A YEAR OR MORE. ALL AREAS WITHIN THE LIMITS OF DISTURBANCE SHALL BE STABILIZED WITH PERMANENT SEEDING, LANDSCAPING OR PAVEMENT FOLLOWING THE FINAL GRADING (SEE PERMANENT SEEDING TABLE SHEET C6.0).

EROSION CONTROL SEQUENCE OF CONSTRUCTION

- INSTALL TEMPORARY STONE CONSTRUCTION ENTRANCE.
- INSTALL PERIMETER EROSION CONTROL DEVICES LOCATED WITHIN THE LIMITS OF LAND DISTURBANCE. CONTACT FLUVANNA COUNTY EROSION CONTROL INSPECTOR FOR INSPECTION PRIOR TO COMMENCING ANY LAND DISTURBANCE. LAND DISTURBANCE MAY NOT OCCUR UNTIL THE INSTALLATION OF THE INITIAL EROSION & SEDIMENT CONTROL MEASURES HAS BEEN APPROVED BY THE ENVIRONMENTAL INSPECTOR.
- BEGIN SITE DEMOLITION ACTIVITIES INCLUDING TREE REMOVAL AND SELECTIVE SITE DEMOLITION ACTIVITIES PER COORDINATION WITH APPROPRIATE AUTHORITIES AND UTILITY OWNER'S.
- ADJUST ALL EROSION CONTROL DEVICES AS NECESSARY IN ORDER TO MAINTAIN PROPER FUNCTION AND EACH DEVICE SHALL BE MAINTAINED AS NECESSARY TO PROMOTE CORRECT OPERATION.
- CONSTRUCT PHASE 1 INFRASTRUCTURE (INCLUDING INLET PROTECTION) & UNDERGROUND UTILITIES.
- BEGIN PHASE 2 OF THE EROSION CONTROL PLAN AND COMPLETE CONSTRUCTION OF THE PAVEMENT AREAS.
- STABILIZE SITE DURING AND AT THE CONCLUSION OF CONSTRUCTION PER VESCH STDs.
- AFTER ALL UPSLOPE AREAS HAVE BEEN STABILIZED, AND ONLY WITH THE APPROVAL OF THE FLUVANNA COUNTY EROSION CONTROL INSPECTOR, REMOVE ALL REMAINING EROSION CONTROL DEVICES.

MAINTENANCE

PRIOR TO ANY LAND DISTURBING ACTIVITY, A LAND DISTURBANCE/VPDES PERMIT MUST BE SECURED. IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED PER THE REQUIREMENTS OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP) CONSTRUCTION GENERAL PERMIT (CGP). DURING CONSTRUCTION, THE CONTRACTOR'S DESIGNATED RLD WILL BE RESPONSIBLE FOR INSPECTIONS AND REPAIR OF DAMAGED EROSION/SEDIMENT CONTROL MEASURES. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

- THE STONE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD OFF OF THE SITE. THE STONE MAY NEED TO BE WASHED AND REWORKED OR ADDITIONAL STONE ADDED TO ENSURE THE ENTRANCE IS PROPERLY FUNCTIONING.
- THE SILT FENCE, TREE PROTECTION AND INLET PROTECTION BARRIERS SHALL BE CHECKED FOR UNDERMINING AND DETERIORATION OF OR DAMAGE TO THE FABRIC. DAMAGES SHALL BE IMMEDIATELY REPAIRED. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF SEDIMENT DEPOSITION REACHES ONE HALF THE HEIGHT OF THE BARRIER.
  - LOW POINTS IN THE SILT FENCE SHALL BE CHECKED FOR DAMAGE CAUSED BY PONDING WATER. IF DAMAGE IS FOUND, ADDITIONAL ROWS OF SILT FENCE SHALL BE PLACED BEHIND AND PARALLEL TO THE PRIMARY ROW AT INCREMENTS OF ONE FOOT AS REQUIRED.
  - SILT FENCE 'DAMS' INSTALLED PERPENDICULAR TO THE PRIMARY RUN TO SLOW RUNOFF ALONG THE SILT FENCE SHALL BE CHECKED FOR SCOUR AROUND THE EDGE. IF SCOURING IS OBSERVED, ADDITIONAL SECTIONS ARE TO BE PLACED UPHILL IN SMALLER INCREMENTS AS NEEDED.
- THE STORM DRAIN INLET PROTECTION SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED. SEDIMENT SHALL BE REMOVED ONCE IT HAS REACHED ONE HALF THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FOR THE BLOCKS, CLEANED AND/OR REPLACED.
- THE SEEDDED AND MULCHED AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEEDDED AS NEEDED. REFER TO ESC TECHNICAL BULLETIN #4. PROVIDE REMEDIAL STABILIZATION AND SEEDING FOR A PERIOD OF ONE YEAR AFTER CONSTRUCTION.



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EROSION AND SEDIMENT CONTROL NARRATIVE

FORK UNION FIRE TRAINING

BUILDING SITE

FLUVANNA COUNTY, VIRGINIA

REVISIONS

DESIGNED BY:	BTC
DRAWN BY:	TSE
CHECKED BY:	CAH
SCALE:	NONE
DATE:	MAY 17, 2019
PROJECT NUMBER:	18060133-010301

C1.3

1. Source of Meridian: Virginia State Plane Grid North NAD 83 South Zone based upon GPS Observation performed on February 28, 2019.

2. Vertical datum: NAD 88 based upon GPS Observation performed on February 28, 2019.

3. The survey was not intended to determine the benefit of a title commitment or title report and all encumbrances and encumbrances that might be disclosed in a title search may not be shown.

4. Utilities shown are based upon:

- SUE Quality Level D, ASCS 38-02 - compiled records only
- SUE Quality Level B, ASCS 38-02 - field investigation with compiled records.
- SUE Quality Level B, ASCS 38-02 - field designation of underground utilities performed by (DAA; Miss Utility, Ticket # \_\_\_\_\_); Other) and visible evidence in conjunction with compiled

     SUE Quality Level A, ASCE 38-02 – test pits at locations shown hereon performed by (DAA; Other) in conjunction with field designation of underground utilities performed by (DAA; Miss Utility, Ticket #         ; Other), visible evidence and compiled records.  
☒ No SUE was performed or requested for this survey. Utilities shown hereon are based on field observation only.

5.) This Topographic Survey of Fork Union Fire Training Building Site was completed under the direct and responsible charge of David Jordan from an actual Ground survey made under my supervision; that the imagery and/or original data was obtained on March 29, 2019; and that this plat and/or map meets minimum accuracy standards unless otherwise noted.

6.) Contour interval: 1'.

8.) No current field run boundary survey was performed. Property lines shown hereon are compiled from record information.

9.) Draper Aden Associates provides benchmarks for the construction of the improvements shown on these plans. All other existing elevations are for reference to existing conditions only. Do not use spot elevations, finish floor elevations, elevations on manholes, elevations on survey nails, survey hubs, control points (horizontal points provided) or any other points for construction other than the provided benchmarks. Failure to utilize and verify the provided benchmarks could result in damages and additional cost that are the contractor's responsibility.

10.) The subject property shown hereon appears to be situated in FEMA Floodplain Zone X (Unshaded) per FIRM 51065C0125C May 16, 2008.

CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C1	741.20'	277.58'	21°27'27"	275.96'	S72°13'07"E
C2	384.26'	388.98'	58°00'00"	372.59'	S53°56'51"E
C3	597.96'	229.60'	22°00'00"	228.19'	S35°56'51"E
C4	35.00'	48.87'	80°00'00"	45.00'	S06°56'51"E

THESE PLANS HAVE BEEN SUBJECTED TO TECHNICAL AND QUALITY REVIEWS BY:

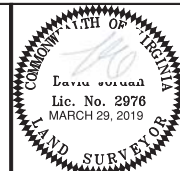
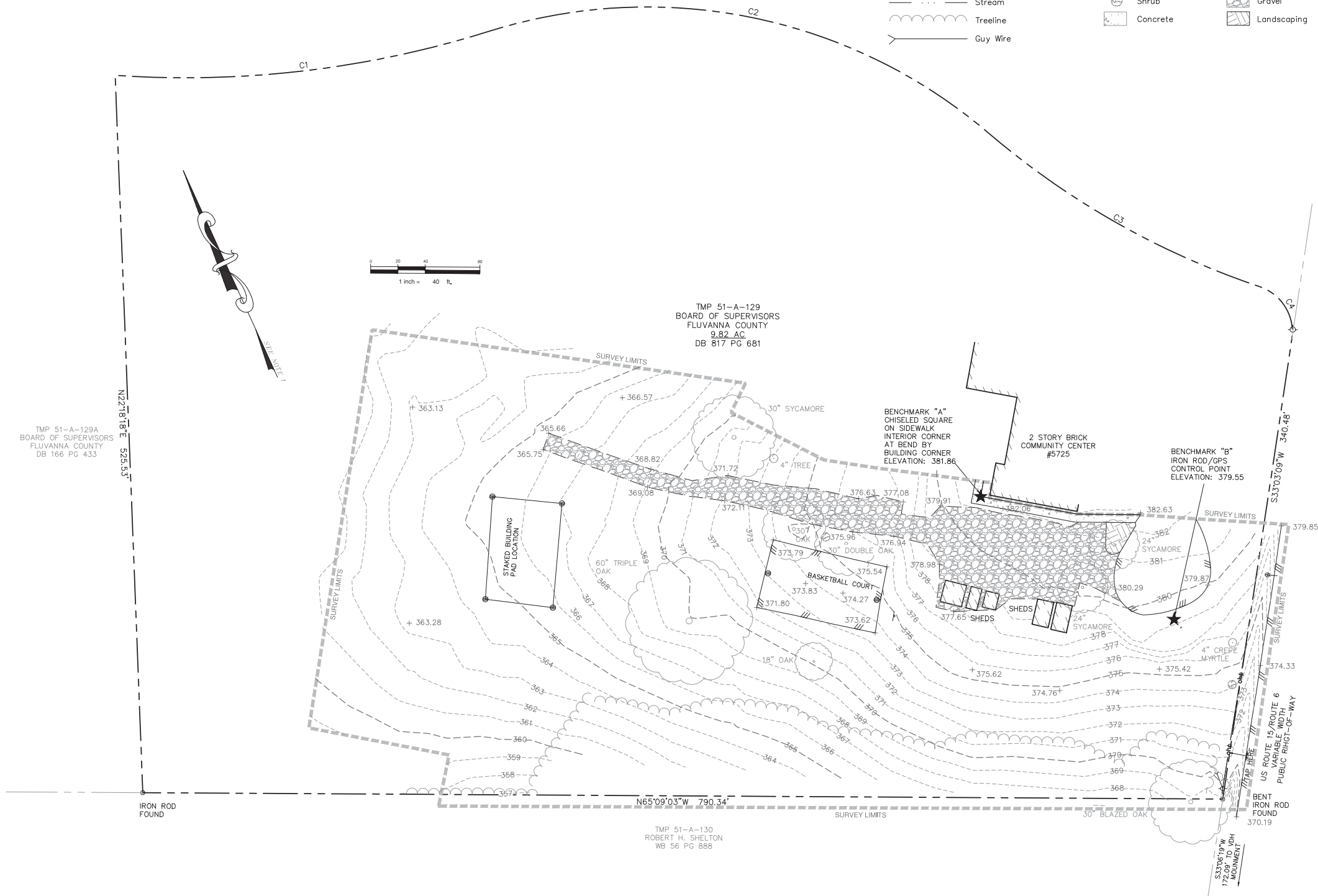
NAME: Dereck Perry	4/1/2019
SURVEY PARTY CHIEF	SIGNATURE DATE

NAME: David Jordan 4/1/2019  
PROJECT MANAGER SIGNATURE DATE

NAME: Cheryl Stockton 4/3/2019  
QUALITY REVIEW SIGNATURE DATE

TMP 51-A-129A  
BOARD OF SUPERVISORS  
FLUVANNA COUNTY  
DB 166 PG 433

	Property Line		Rod Found		Electric Box
	1000 Contour		Monument Found		Guy Pole
	Gas Line		Telephone Pedestal		Electric Marker
	Overhead Power		Telephone Manhole		Electrical Manhole
	Sanitary Sewer and Manhole		Telephone Box		Utility Pole
	Storm Line and Manhole		Fire Hydrant		Electric Transformer
	Storm Line and Inlet		Water Valve		Ground Light
	Underground Cable TV		Water Meter		Light Pole
	Underground Electric		Well		Fiber Optic Pedestal
	Underground Telephone		Benchmark		Fiber Optic Handhole
	Underground Fiber Optic		Bollard		Gas Vent
	Unknown Utility		Sign (1-post)		Gas Valve
	Waterline		Sign (2-post)		Gas Meter
	Asphalt	+ 1561.3	Spot Elevation		Sewer Clean Out
	Building		Deciduous Tree		Wood Post
	Fence (as noted)		Evergreen Tree		Metal Post
	Stream		Shrub		Gravel
	Treeline		Concrete		Landscaping
	Guy Wire				



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TOPOGRAPHIC SURVEY  
FORK UNION FIRE TRAINING  
BUILDING SITE  
FLUVANNA COUNTY, VIRGINIA

## REVISIONS

DESIGNED BY

DRAWN BY:

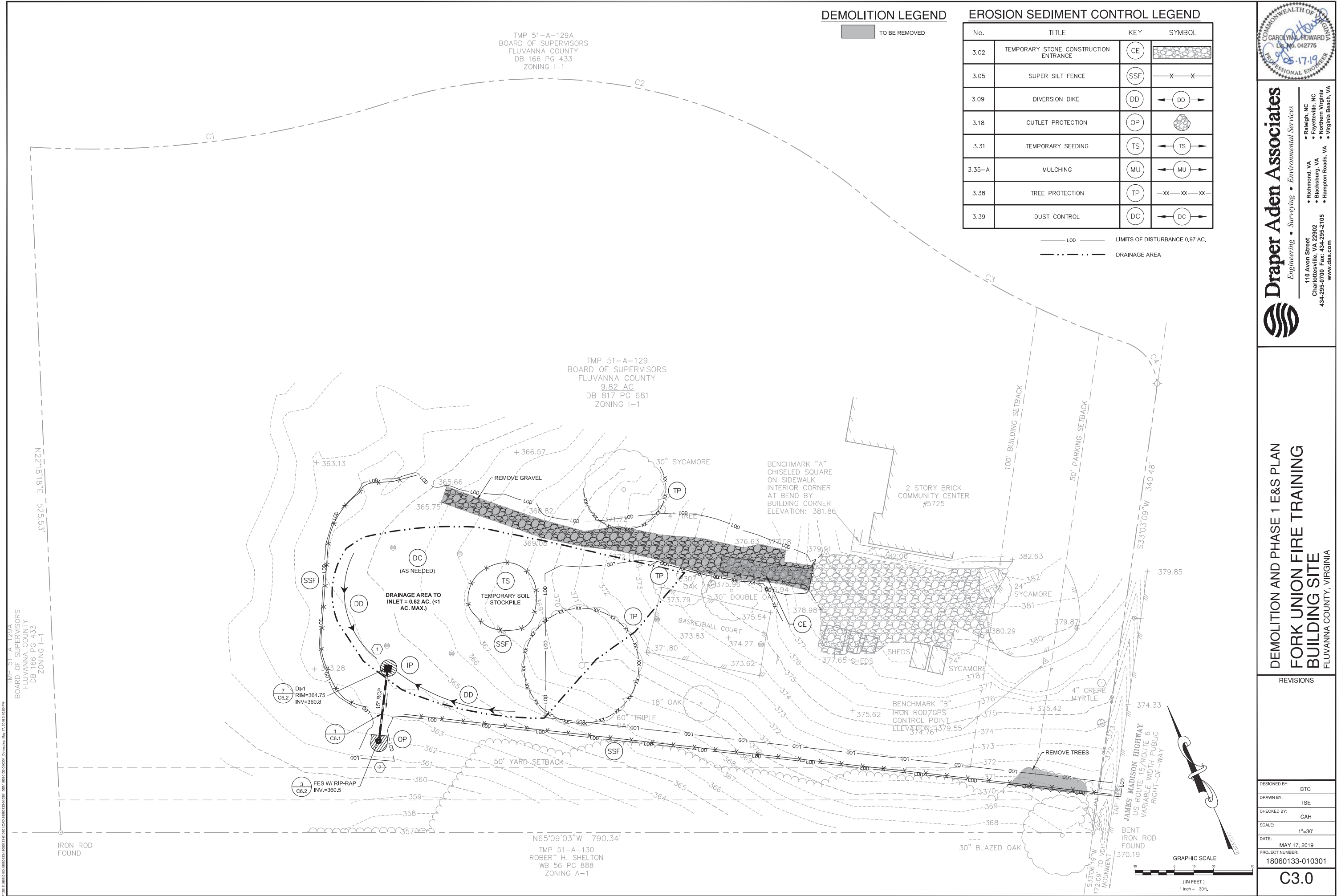
CHECKED BY:

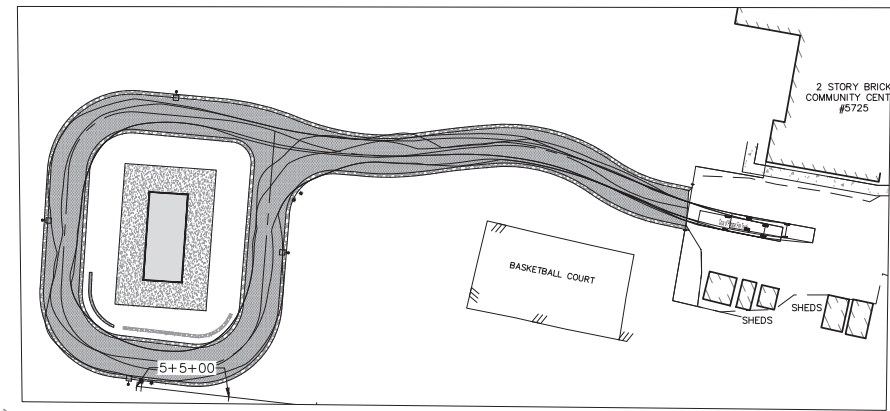
SCALE:

DATE: \_\_\_\_\_

PROJECT NUMBER:  
18060133-010301

C2.0





SCALE: 1"=50'



- NOTES:  
1. REFER TO ARCHITECTURAL  
PLANS FOR BUILDING AND  
CONCRETE APRON DETAILS.

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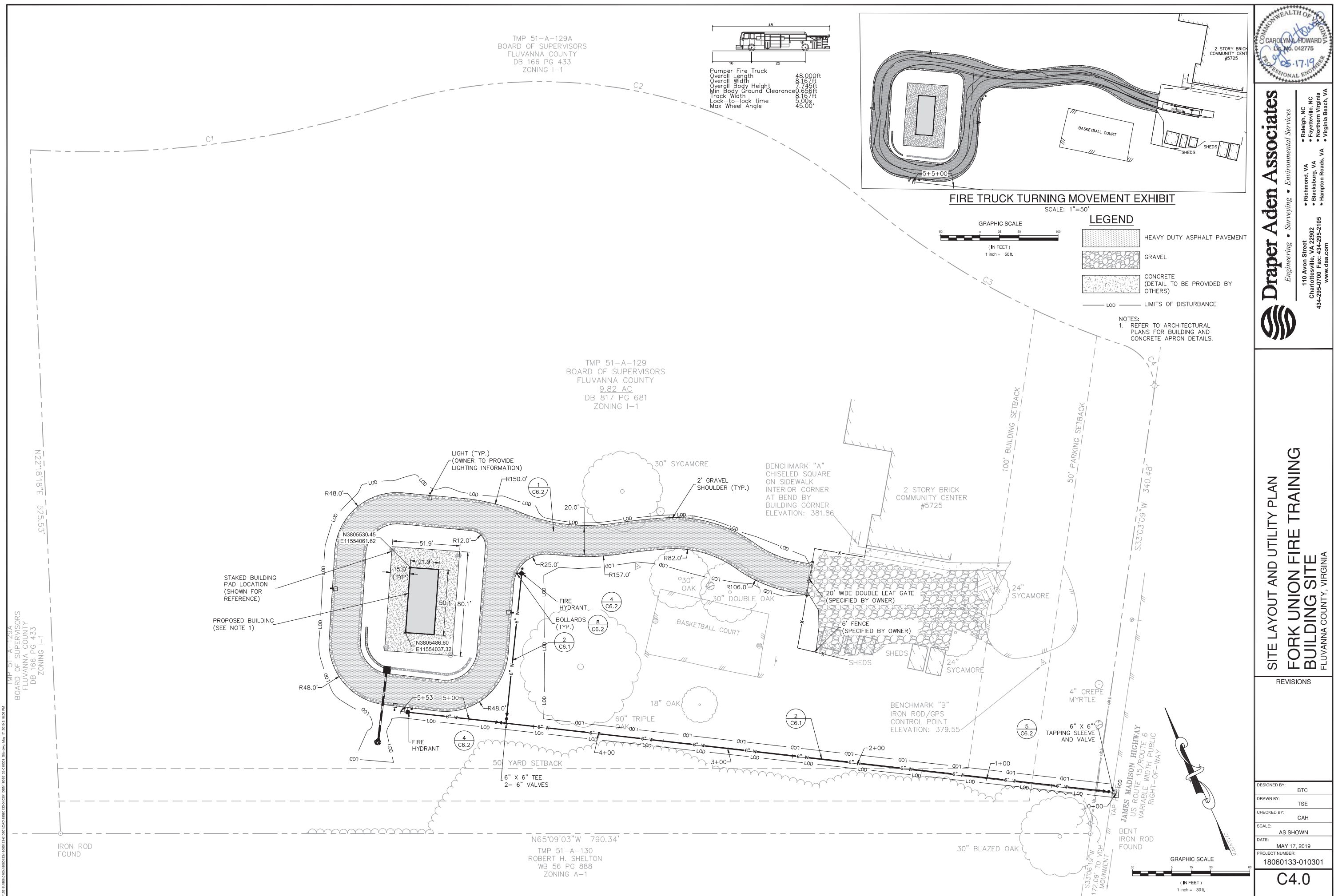
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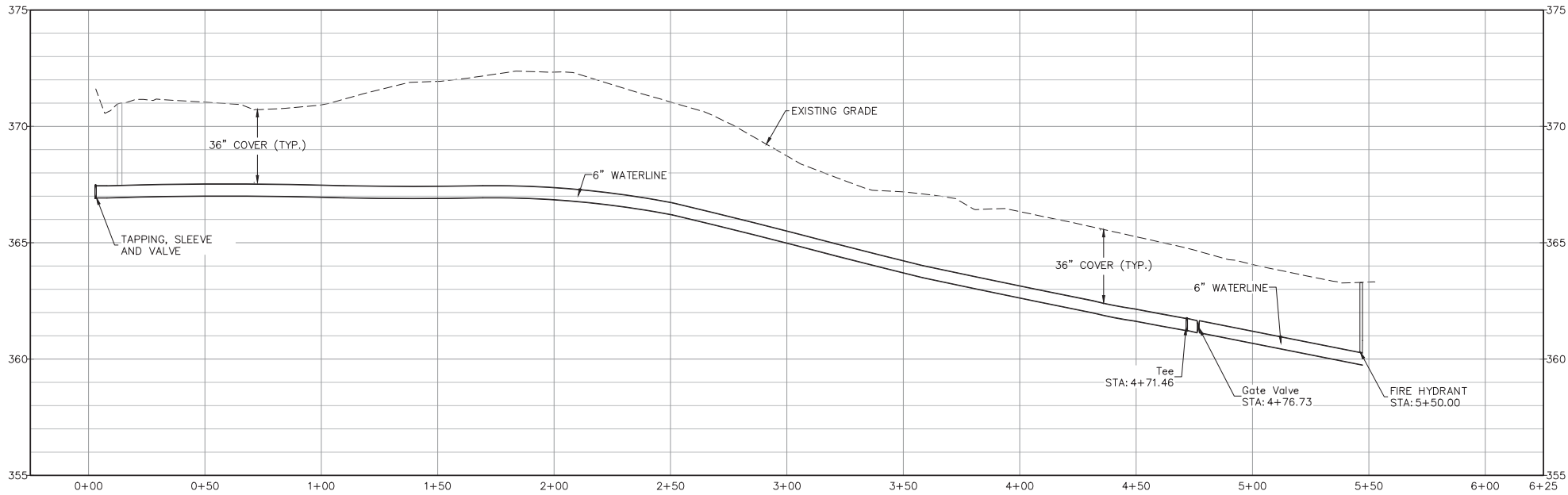
**SITE LAYOUT AND UTILITY PLAN**  
**FORK UNION FIRE TRAINING**  
**BUILDING SITE**  
FLUVANNA COUNTY, VIRGINIA

## REVISIONS

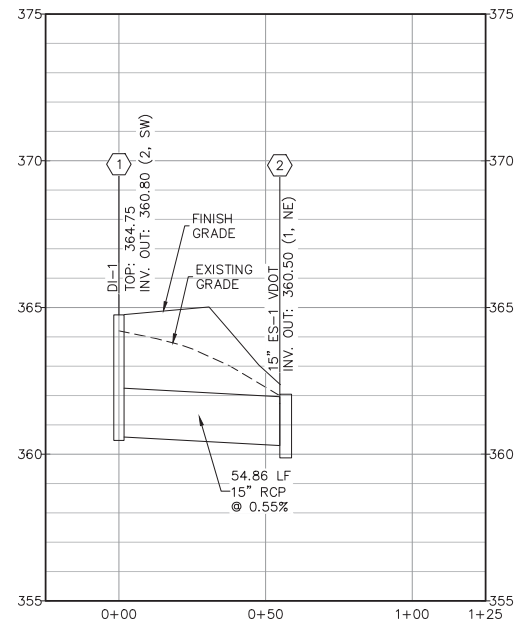
DESIGNED BY:	BTC
DRAWN BY:	TSE
CHECKED BY:	CAH
SCALE:	AS SHOWN
DATE:	MAY 17, 2019
PROJECT NUMBER:	18060133-010301

C4.0

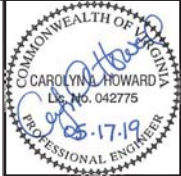
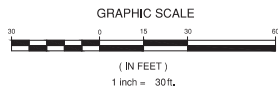




WATERLINE PROFILE – Scale: H: 1"=30', V: 3'



STORM PROFILE – Scale: H: 1"=30', V: 3'



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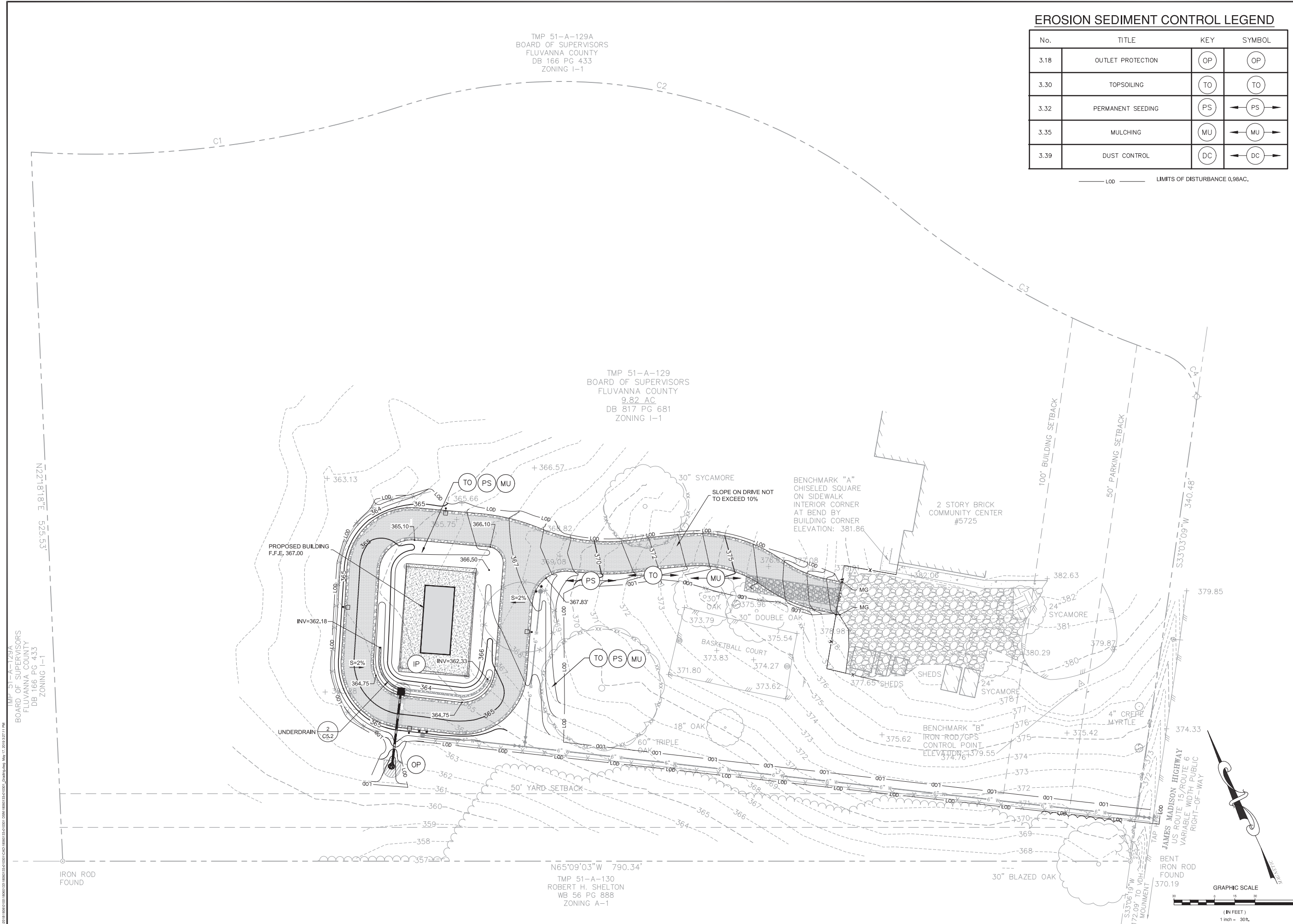
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WATER AND STORM PROFILES  
**FORK UNION FIRE TRAINING  
BUILDING SITE**  
FLUVANNA COUNTY, VIRGINIA

REVISIONS	
DESIGNED BY:	BTC
DRAWN BY:	TSE
CHECKED BY:	CAH
SCALE:	1"=30'
DATE:	MAY 17, 2019
PROJECT NUMBER:	18060133-010301
C4.1	

TMP 51-A-129A  
BOARD OF SUPERVISORS  
FLUVANNA COUNTY  
DB 166 PG 433  
ZONING I-1

N22°18'18"E 525.53'



TMP 51-A-129A  
BOARD OF SUPERVISORS  
FLUVANNA COUNTY  
DB 166 PG 433  
ZONING I-1

TMP 51-A-129  
BOARD OF SUPERVISORS  
FLUVANNA COUNTY  
9.82 AC  
DB 817 PG 681  
ZONING I-1

N65°09'03"W 790.34'  
TMP 51-A-130  
ROBERT H. SHELTON  
WB 56 PG 888  
ZONING A-1

### EROSION SEDIMENT CONTROL LEGEND

No.	TITLE	KEY	SYMBOL
3.18	OUTLET PROTECTION	OP	OP
3.30	TOPSOILING	TO	TO
3.32	PERMANENT SEEDING	PS	PS
3.35	MULCHING	MU	MU
3.39	DUST CONTROL	DC	DC

LOD LIMITS OF DISTURBANCE 0.98AC.



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## GRADING AND PHASE 2 E&S PLAN FORK UNION FIRE TRAINING BUILDING SITE FLUVANNA COUNTY, VIRGINIA

DESIGNED BY: BTC  
DRAWN BY: TSE  
CHECKED BY: CAH  
SCALE: 1"=30'  
DATE: MAY 17, 2019  
PROJECT NUMBER: 18060133-010301

**C5.0**



TR-55 CALCULATIONS SUMMARY FOR 1-YR & 10-YR STORM EVENTS  
FLOOD PROTECTION 9VAC25-870-66(C)(2)(B))

Subsection: Master Network Summary

Catchments Summary					
Label	Scenario	Return Event (years)	Hydrograph Volume (ac-ft)	Time to Peak (hours)	Peak Flow (ft³/s)
DA-PRE	1-Yr Storm	1	0.026	12.000	0.36
DA-PRE	10-Yr Storm	10	0.119	11.950	2.10
DA-1	1-Yr Storm	1	0.065	11.950	1.17
DA-1	10-Yr Storm	10	0.154	11.900	2.70
DA-2	1-Yr Storm	1	0.015	12.000	0.24
DA-2	10-Yr Storm	10	0.060	11.950	1.88

Node Summary					
Label	Scenario	Return Event (years)	Hydrograph Volume (ac-ft)	Time to Peak (hours)	Peak Flow (ft³/s)
O-A (POST)	1-Yr Storm	1	0.028	12.000	0.24
O-A (POST)	10-Yr Storm	10	0.161	12.000	2.84
O-A (PRE)	1-Yr Storm	1	0.026	12.000	0.36
O-A (PRE)	10-Yr Storm	10	0.119	11.950	2.10

Pond Summary							
Label	Scenario	Return Event (years)	Hydrograph Volume (ac-ft)	Time to Peak (hours)	Peak Flow (ft³/s)	Maximum Water Surface Elevation (ft)	Maximum Pond Storage (ac-ft)
PO-1 (IN)	1-Yr Storm	1	0.065	11.950	1.17	(N/A)	(N/A)
PO-1 (OUT)	1-Yr Storm	1	0.013	14.000	0.04	364.76	0.044
PO-1 (IN)	10-Yr Storm	10	0.154	11.900	2.70	(N/A)	(N/A)
PO-1 (OUT)	10-Yr Storm	10	0.100	12.100	1.19	365.00	0.069

FC Fire Training.ppc  
5/15/2019

Bentley Systems, Inc. Haestad Methods Solution Center  
27 Siemon Company Drive Suite 200 W  
Watertown, CT 06795 USA +1-203-755-1666

PondPack CONNECT Edition  
[10/02/2019]  
Page 1 of 1

THE POST-DEVELOPMENT FLOW OF 2.04 CFS IS LESS THAN THE PRE-DEVELOPMENT FLOW OF 2.10 CFS.

ENERGY BALANCE EQUATION (CHANNEL PROTECTION 9VAC25-870-66(B)(3))

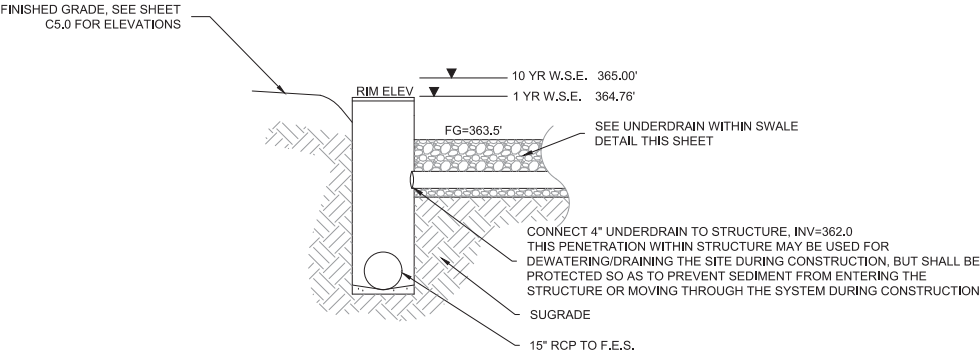
0.98	Ac.	Energy Balance Site Area
0.9	IF	Improvement Factor (0.8 for sites greater than 1 acre & 0.9 for sites less than or equal to 1 acres)

ENERGY BALANCE COMPLIANCE TABLE								
OUTFALL	1 - YEAR STORM EVENT							
	VOLUME (AC-FT)		PEAK (CFS)		Q ALLOW (CFS)		FORESTED CONDITION	
	PRE	POST	PRE	POST			VOL (AC-FT)	PEAK (CFS) Q ALLOW (CFS)
A	0.026	0.028	0.36	0.24	0.30		0.009	0.02 0.01
NOTE: UNDER NO CONDITION SHALL Q DEVELOPED BE GREATER THAN Q PRE-DEVELOPED NOR SHALL Q DEVELOPED BE REQUIRED TO BE LESS THAN THAT CALCULATED AS Q ALLOW IN THE FORESTED CONDITION SECTION ABOVE.								

THE POST DEVELOPMENT FLOW OF 0.24 CFS IS LESS THAN THE ALLOWABLE FLOW OF 0.30 CFS.

10-YR HYDRAULIC PIPE CALCULATION (MANNING'S EQUATION)

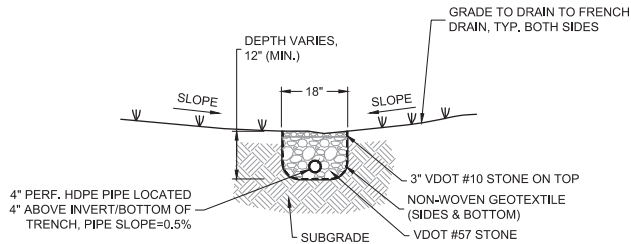
Set units: <input type="text" value="m"/> <input type="text" value="mm"/> <input type="text" value="ft"/> <input type="text" value="in"/>			Results		
Pipe diameter, d <sub>s</sub>	15	in	Flow, Q	2.0532	cfs
Manning roughness, n ?	.013		Velocity, v	3.6229	ft/sec
Pressure slope (possibly ? equal to pipe slope), S <sub>p</sub>	5	% rise/run	Velocity head, h <sub>v</sub>	2.4479	in
Percent of (or ratio to) full depth (100% or 1 if flowing full)	47	%	Flow area	0.5668	ft²
			Wetted perimeter	1.8884	ft
			Hydraulic radius	0.3001	ft
			Top width, T	1.2477	ft
			Froude number, F	0.95	
			Shear stress (tractive force), tau	4.4850	N/m²



1 SECTION TAKEN AT STRUCTURE #1  
C5.2 NOT TO SCALE

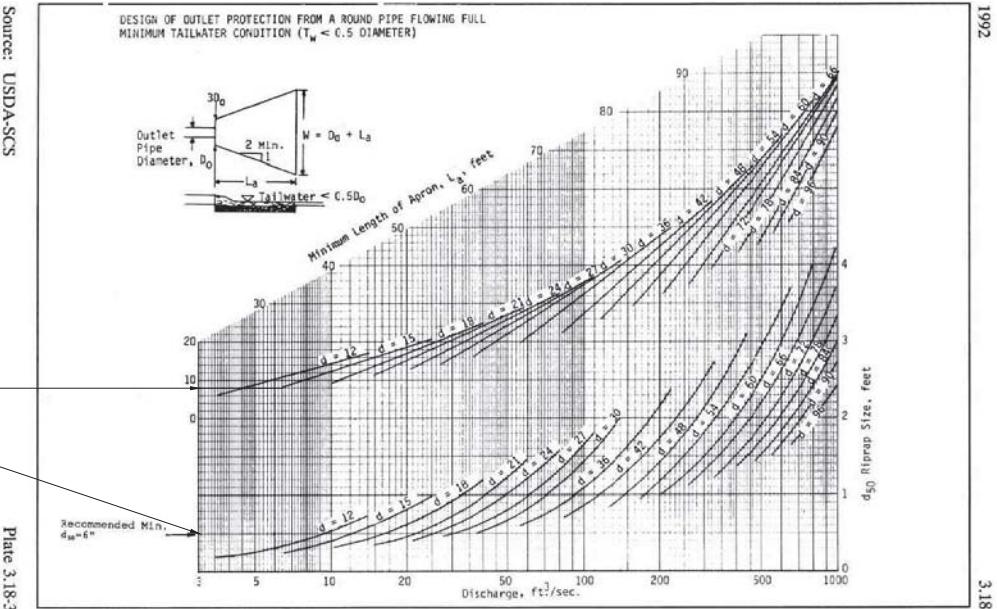
STABILIZATION & MAINTENANCE NOTES:

- TREAT ALL DISTURBED AREAS WITH TOPSOILING, PERMANENT SEEDING & MULCHING.
- MAINTAIN DURING CONSTRUCTION PER VESCH STD. & SPEC 3.28.



2 UNDERDRAIN WITHIN SWALE TO CONNECT TO DI-1  
C5.0/C5.2 NOT TO SCALE

OUTLET PROTECTION SIZING CALCULATION



OUTLET PROTECTION SIZING CHART  
PIPE 1-2 (15" RCP)

$D_o = 1.25'$   
 $3D_o = 3.75'$   
 $L_a = 8'$   
 $W = D_o + L_a = 9.25'$

MINIMUM APRON SIZE  
 $L_a=8'$

MINIMUM  $d_{50}=6"$



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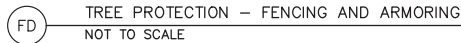
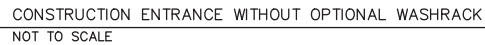
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STORMWATER MANAGEMENT CALCS & DETAILS  
FORK UNION FIRE TRAINING  
BUILDING SITE  
FLUVANNA COUNTY, VIRGINIA

REVISIONS	
DESIGNED BY:	BTC
DRAWN BY:	TSE
CHECKED BY:	CAH
SCALE:	1" = 30'
DATE:	MAY 17, 2019
PROJECT NUMBER:	18060133-010301

C5.2



TEMPORARY SEEDING  
NOT TO SCALE



PERMANENT SEEDING (COASTAL VIRGINIA)  
NOT TO SCALE



\* When fiber mulch is the only available mulch during periods when straw should be used, apply at a minimum rate of 2000 lbs./ac. or 45 lbs./1000 sq. ft.



C6.0

TOPSOILING

TO

FIELD EXPLORATION OF THE SITE SHALL BE MADE TO DETERMINE IF THERE IS SUFFICIENT SURFACE SOIL OF GOOD QUALITY TO JUSTIFY STRIPPING. TOPSOIL SHALL BE FRIABLE AND LOAMY (LOAM, SANDY LOAM, SILT LOAM, SANDY CLAY LOAM, CLAY LOAM). IT SHALL BE FREE OF DEBRIS, TRASH, STUMPS, ROCKS, ROOTS, AND NOXIOUS WEEDS, AND SHALL GIVE EVIDENCE OF BEING ABLE TO SUPPORT HEALTHY VEGETATION. IT SHALL CONTAIN NO SUBSTANCE THAT IS POTENTIALLY TOXIC TO PLANT GROWTH.

ALL TOPSOIL SHALL BE TESTED BY A RECOGNIZED LABORATORY FOR THE FOLLOWING CRITERIA:

- ORGANIC MATTER CONTENT SHALL BE NOT LESS THAN 1.5% BY WEIGHT.
- PH RANGE SHALL BE FROM 6.0-7.5. IF PH IS LESS THAN 6.0, LIME SHALL BE ADDED IN ACCORDANCE WITH SOIL TEST RESULTS OR IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE VEGETATIVE ESTABLISHMENT PRACTICE BEING USED.
- SOLUBLE SALTS SHALL NOT EXCEED 500 PPM.

IF ADDITIONAL OFF-SITE TOPSOIL IS NEEDED, IT MUST MEET THE STANDARDS STATED ABOVE.

STRIPPING: TOPSOIL OPERATIONS SHOULD NOT BE PERFORMED WHEN THE SOIL IS WET OR FROZEN. STRIPPING SHALL BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA. A 4-TO 6-INCH STRIPPING DEPTH IS COMMON, BUT DEPTH MAY VARY DEPENDING ON THE PARTICULAR SOIL. ALL PERIMETER DIKES, BASINS, AND OTHER SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO STRIPPING.

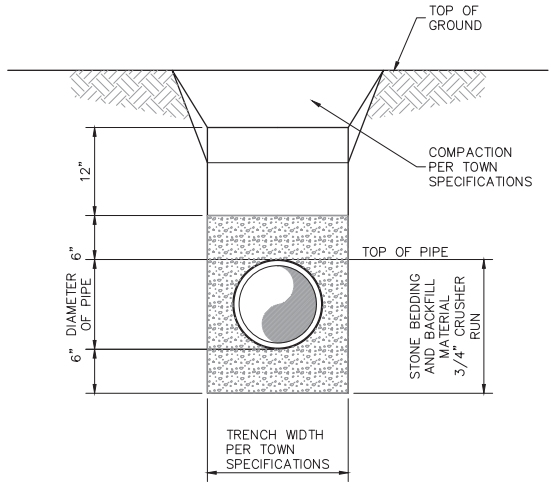
STOCKPILING: TOPSOIL SHALL BE STOCKPILED IN SUCH A MANNER THAT NATURAL DRAINAGE IS NOT OBSTRUCTED AND NO OFF-SITE SEDIMENT DAMAGE SHALL RESULT. STABILIZE OR PROTECT STOCKPILES IN ACCORDANCE WITH MS #2. SIDE SLOPES OF THE STOCKPILE SHALL NOT EXCEED 2:1. PERIMETER CONTROLS MUST BE PLACED AROUND THE STOCKPILE IMMEDIATELY. SEEDING OF STOCKPILES SHALL BE COMPLETED WITHIN 7 DAYS OF THE FORMATION OF THE STOCKPILE, IN ACCORDANCE WITH STD. & SPEC. 3.31, TEMPORARY SEEDING IF IT IS TO REMAIN DORMANT FOR LONGER THAN 30 DAYS (REFER TO MS #1 AND MS #2).

LIMING: WHERE THE PH OF THE SUBSOIL IS 6.0 OR LESS, OR THE SOIL IS COMPOSED OF HEAVY CLAYS, AGRICULTURAL LIMESTONE SHALL BE SPREAD IN ACCORDANCE WITH THE SOIL TEST OR THE VEGETATIVE ESTABLISHMENT PRACTICE BEING USED.

BONDING: AFTER THE AREAS TO BE TOPSOILED HAVE BEEN BROUGHT TO GRADE, AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DISCING OR SCARIFYING TO A DEPTH OF AT LEAST 2 INCHES TO ENSURE BONDING OF THE TOPSOIL AND SUBSOIL.

APPLYING TOPSOIL: TOPSOIL SHALL NOT BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION, WHEN TOPSOIL OR SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING OR PROPOSED SODDING OR SEEDING. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 2 INCHES ON 3:1 OR STEEPER SLOPES AND 4 INCHES ON FLATTER SLOPES. ANY IRREGULARITIES IN THE SURFACE, RESULTING FROM TOPSOILING OR OTHER OPERATIONS, SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

IT IS NECESSARY TO COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEEDBED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. HOWEVER, UNDUE COMPACTION IS TO BE AVOIDED AS IT INCREASES RUNOFF VELOCITY AND VOLUME, AND DETERS SEED GERMINATION. SPECIAL CONSIDERATION SHOULD BE GIVEN TO THE TYPES OF EQUIPMENT USED TO PLACE TOPSOIL IN AREAS TO RECEIVE FINE TURF. AVOID UNNECESSARY COMPACTION BY HEAVY MACHINERY WHENEVER POSSIBLE.

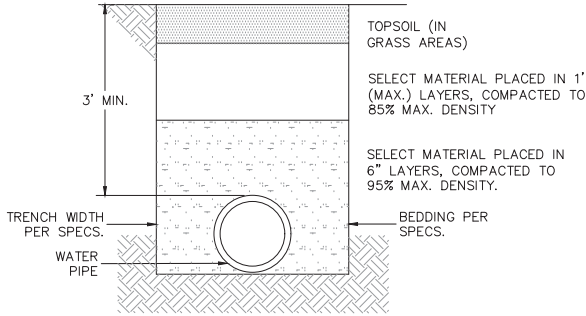


NOTES:

1. CONTRACTOR MUST INSURE THE STONE IS PROPERLY COMPACTED, ESPECIALLY UNDER THE HAUNCHES OF THE PIPE. 2. THOROUGHLY COMPACTED FILL AREA TO BE FREE OF CLODS, DEBRIS, ETC.

1  
C5.0 | C6.1

PIPE BEDDING AND BACKFILL DETAIL  
NOT TO SCALE



2  
C4.0 | C6.1

WATERLINE TYPICAL TRENCH & BACKFILL  
NOT TO SCALE



Draper Aden Associates

Engineering • Surveying • Environmental Services

110 Avon Street  
Charlottesville, VA 22902  
434-295-0700 Fax: 434-295-2105  
www.daa.com

• Raleigh, NC  
• Fayetteville, NC  
• Blacksburg, VA  
• Northern Virginia  
• Hampton Roads, VA  
• Virginia Beach, VA

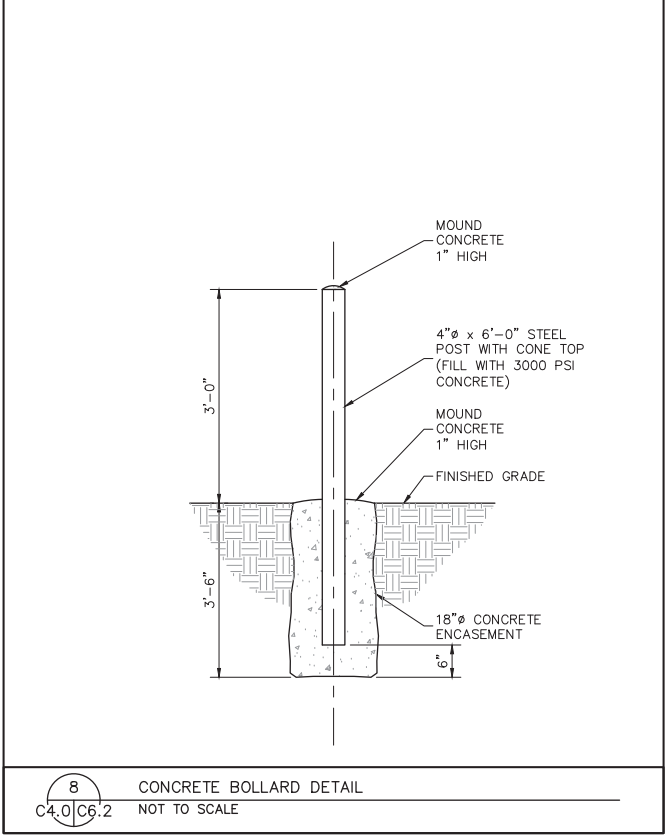
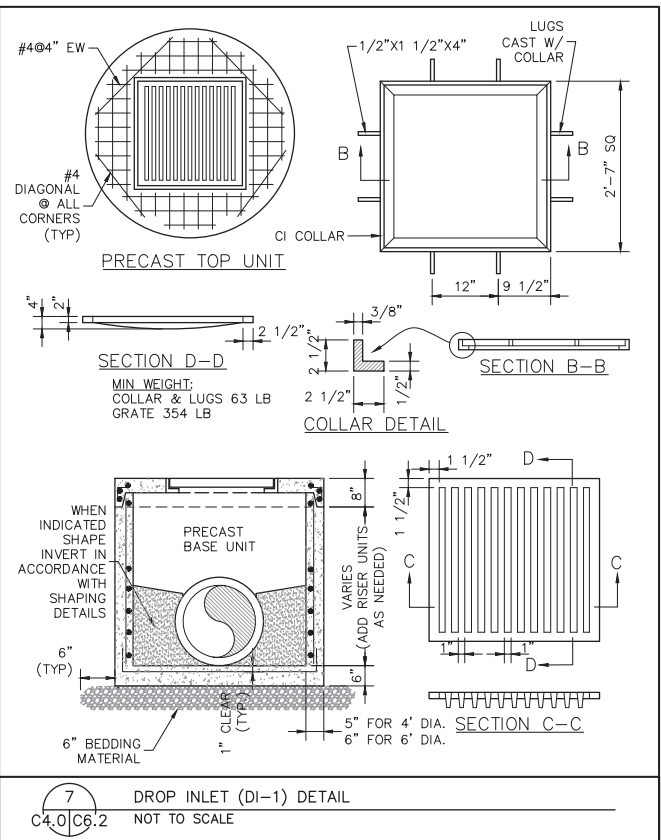
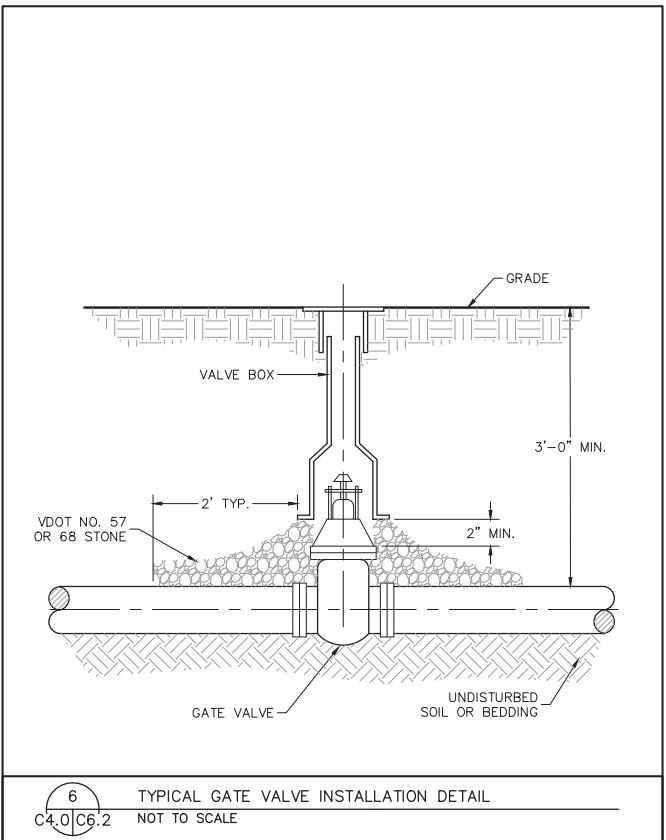
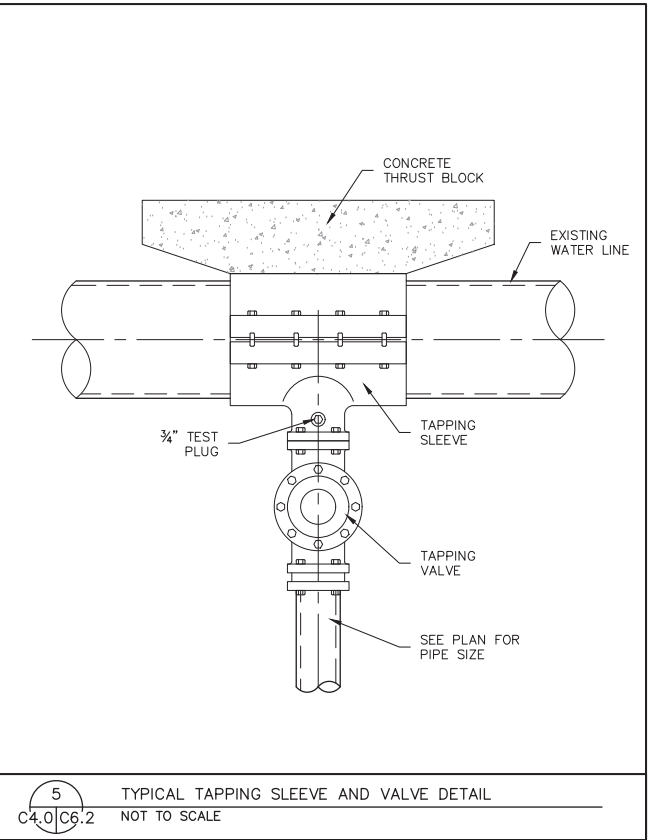
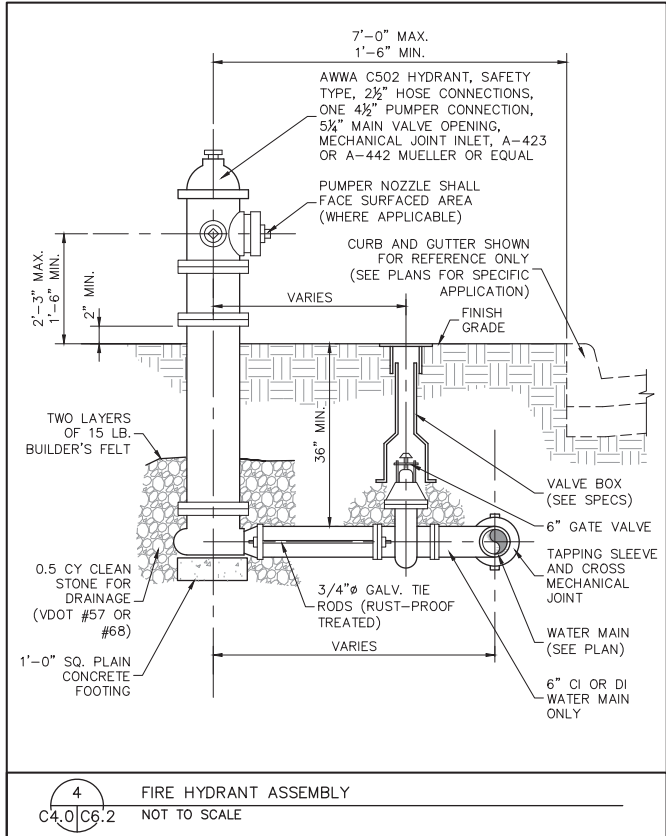
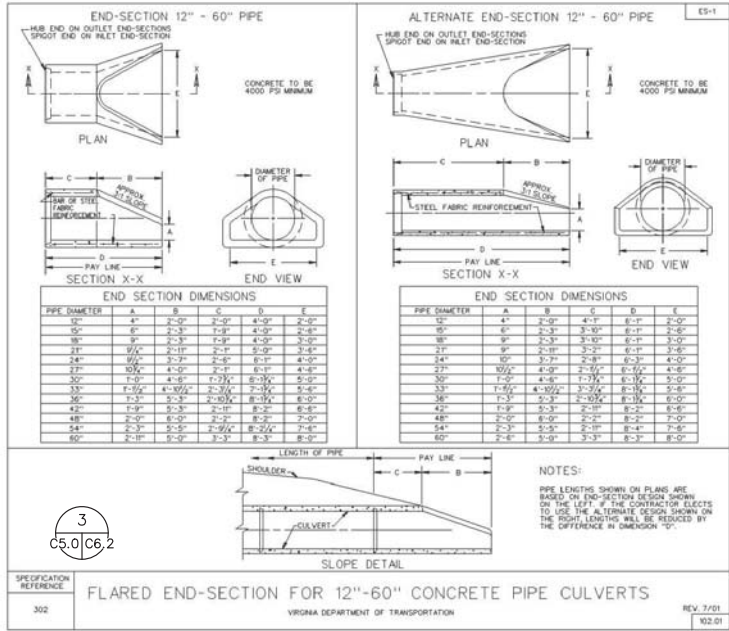
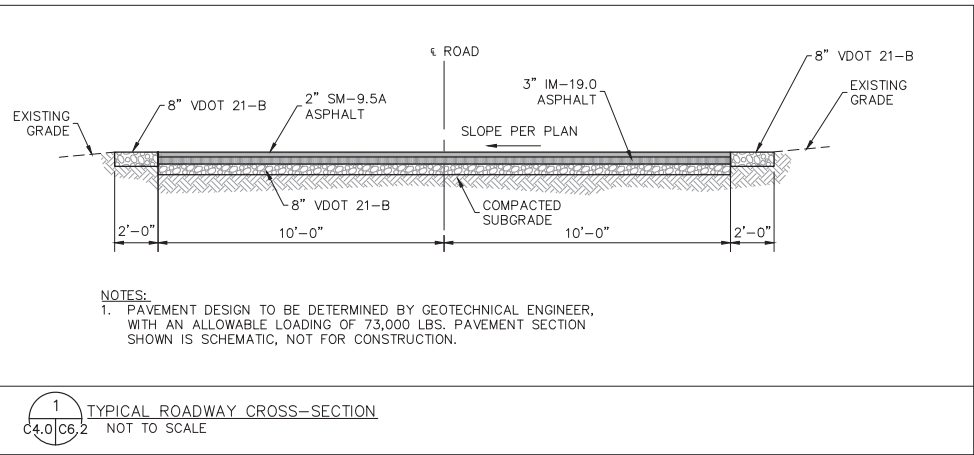


DETAILS  
FORK UNION FIRE TRAINING  
BUILDING SITE  
FLUVANNA COUNTY, VIRGINIA

REVISIONS

DESIGNED BY: BTC  
DRAWN BY: TSE  
CHECKED BY: CAH  
SCALE: NONE  
DATE: MAY 17, 2019  
PROJECT NUMBER: 18060133-010301

C6.1



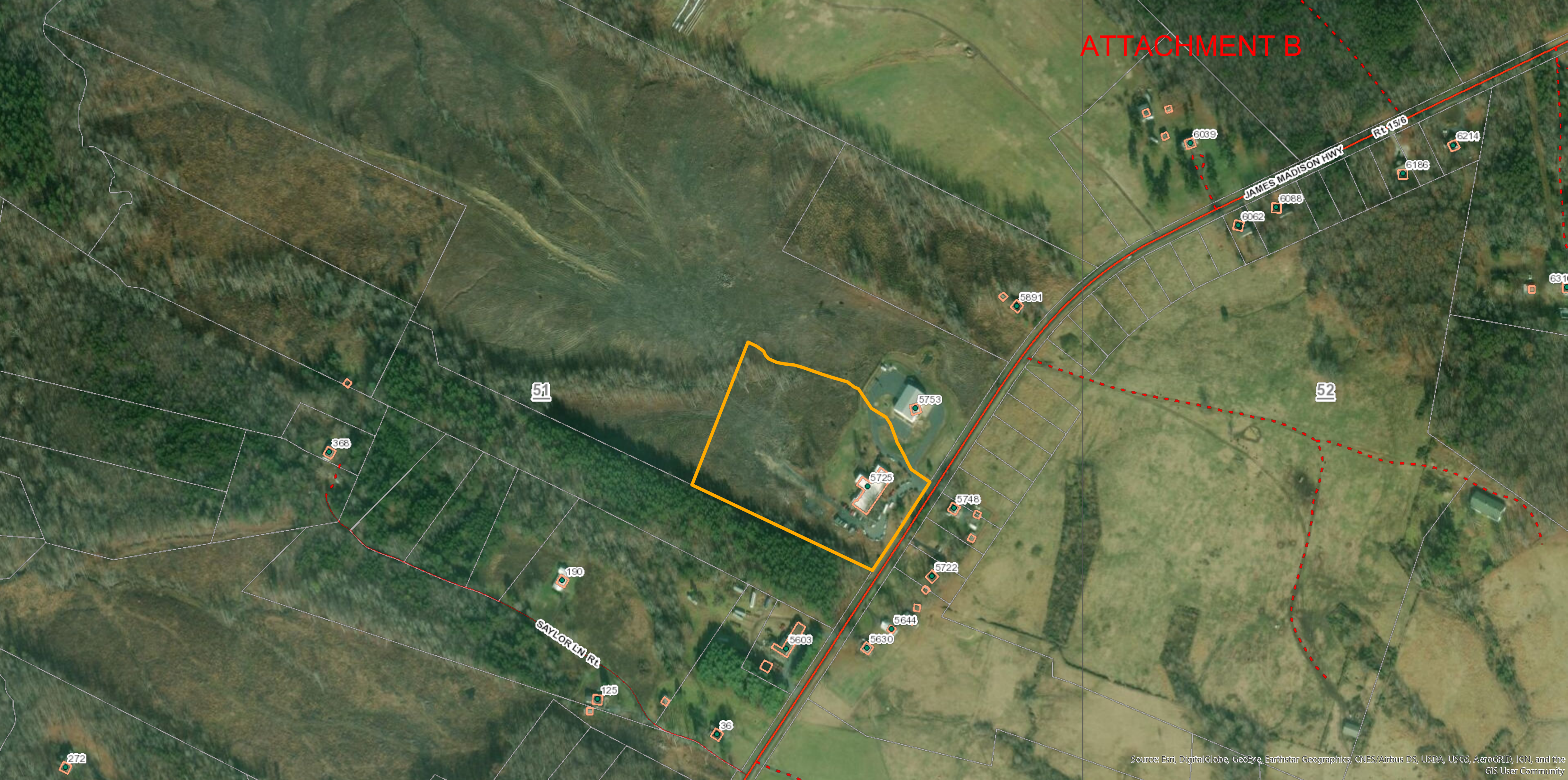
**Draper Aden Associates**  
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• Raleigh, NC  
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 • Richmond, VA  
 • Northern Virginia  
 • Hampton Roads, VA  
 • Virginia Beach, VA

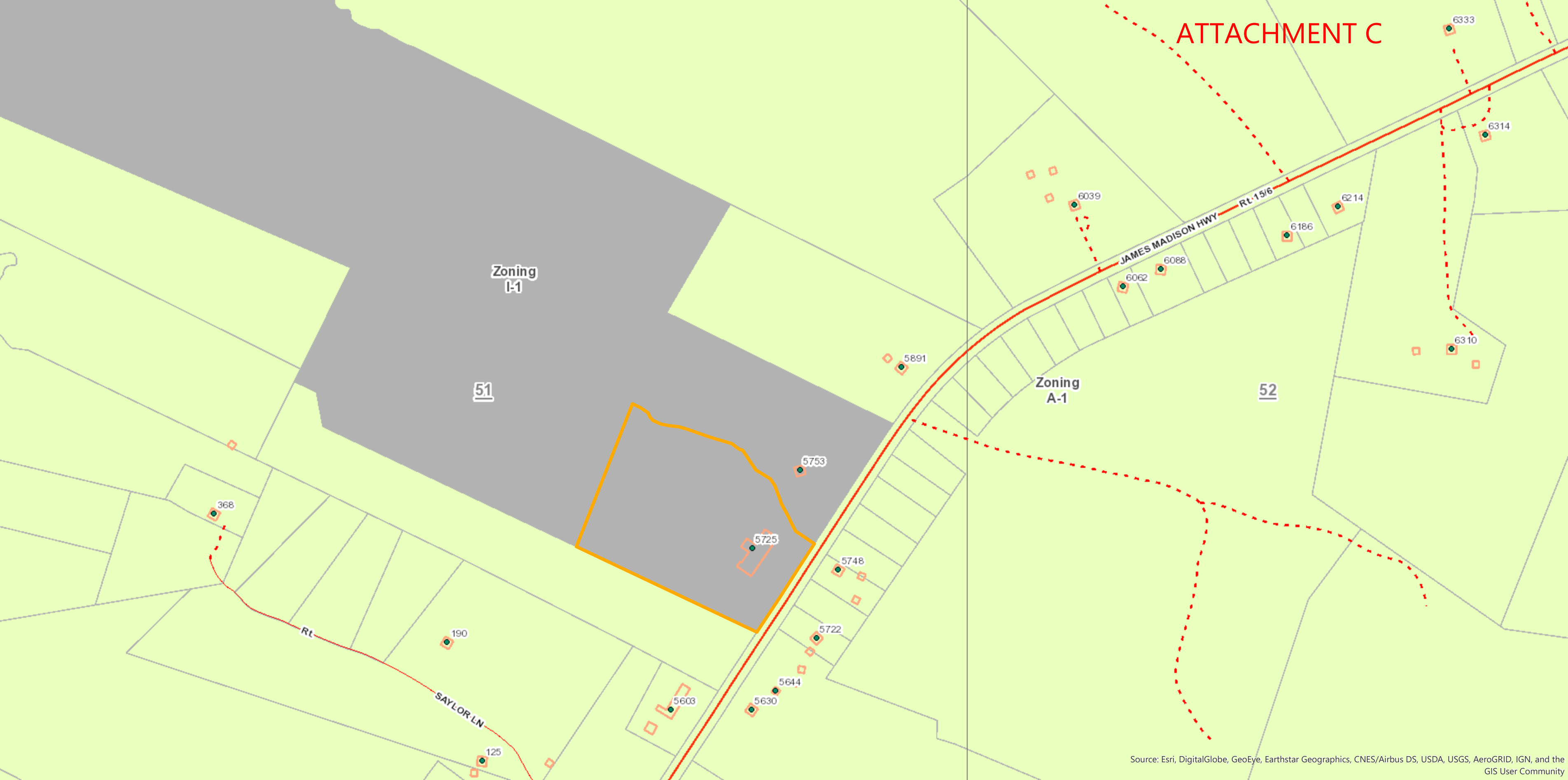
**DETAILS**  
**FORK UNION FIRE TRAINING**  
**BUILDING SITE**  
 FLUVANNA COUNTY, VIRGINIA

REVISIONS	
DESIGNED BY:	BTC
DRAWN BY:	TSE
CHECKED BY:	CAH
SCALE:	NONE
DATE:	MAY 17, 2019
PROJECT NUMBER:	18060133-010301

# ATTACHMENT B



# ATTACHMENT C





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## COUNTY OF FLUVANNA

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*"Responsive & Responsible Government"*

132 Main Street  
P.O. Box 540  
Palmyra, VA 22963  
(434) 591-1910  
Fax (434) 591-1911  
[www.fluvannacounty.org](http://www.fluvannacounty.org)

June 14, 2019

Cyndi Toler  
County of Fluvanna  
132 Main St.  
Palmyra, VA 22963

Delivered via email to [ctoler@fluvannacounty.org](mailto:ctoler@fluvannacounty.org)

**Re: SDP 19:05- Fork Union Fire Training Building**  
**Tax Map: 51-A-129**

Dear Ms. Toler:

The following comments were received by the Technical Review Committee on the Thursday, June 13<sup>th</sup> meeting:

1. Planning Department: Questioned the timeline of the project.
2. Economic Development: Questioned whether this project was similar to the fire training sites in Albemarle and Charlottesville.
3. Building Official: Stated that special inspections would be required for this project, but that this would be handled at a later time.
4. Fire Chief: Commented that the fire and rescue personnel currently have to go to other counties in order to complete their training. This building is greatly anticipated.
5. Emergency Services: No comments.
6. Erosion and Sediment Control: Pointed out that the plan shows disturbance outside of their ESC controls. Reminded the project manager that if there is greater than one acre of disturbance that a stormwater management (SWM) plan will be required by DEQ. The planned disturbance is less than one acre to avoid having to complete a SWM plan.
7. Sheriff's Department: No comments.
8. VDOT: Requested trip generation numbers. Would like numbers from the new building to be added with the numbers from the existing buildings in order to create the complete trip generation expectations for the site.
9. Health Department: Responded in person to Holly Steele stating that the applicant would be required to hire a private consultant in order to complete the soils work.
10. Chamber of Commerce: Responded via email on Friday, June 7<sup>th</sup> with no comments.
11. Department of Forestry: Responded via email on Monday, June 10<sup>th</sup> with no comments.

The Planning Commission will have a meeting to discuss this item on Tuesday, July 9, 2019.  
Your attendance is required at this meeting.

If you have any questions or need additional information, please contact me at 434-591-1910 or by email at [hsteele@fluvannacounty.org](mailto:hsteele@fluvannacounty.org).

Sincerely,



Holly Steele

Planner

Dept. of Planning & Zoning

Copy: File

Steve Nichols, [snichols@fluvannacounty.org](mailto:snichols@fluvannacounty.org)

Ben Powell, [bpowell@fluvannacounty.org](mailto:bpowell@fluvannacounty.org)



---

# COUNTY OF FLUVANNA

---

*"Responsive & Responsible Government"*

132 Main Street  
P.O. Box 540  
Palmyra, VA 22963  
(434) 591-1910  
Fax (434) 591-1911  
[www.fluvannacounty.org](http://www.fluvannacounty.org)

## STAFF REPORT

**To:** Fluvanna County Planning Commission  
**Case Number:** SDP 19:08  
**Tax Map:** Tax Map 5, Section A, Parcel 59

**From:** Brad Robinson  
**District:** Columbia  
**Date:** July 9, 2019

**General Information:** This item is scheduled to be heard by the Planning Commission on Tuesday, July 9, 2019 at 7:00 p.m. in the Circuit Courtroom in the Courts Building.

**Applicant:** Jasen Lane

**Owner:** William E. II & Ann E. Figgins

**Representative:** Michael Chandler, Shimp Engineering

**Requested Action:** Approval of a sketch plan request to construct seven self-storage buildings, parking area and travelways with respect to 4.337 acres of Tax Map 5, Section A, Parcel 59. (Attachment A)

**Location:** The property is located along U.S. Route 15 (James Madison Highway) approximately 0.2 miles south of its intersection with U.S. Route 250 (Richmond Road). (Attachment B)

**Existing Zoning:** I-1, Industrial, Limited

**Existing Land Use:** Vacant

**Adjacent Land Uses:** Adjacent properties are zoned A-1.

**Comprehensive Plan:** Zion Crossroads Community Planning Area

**Zoning History:** This property was rezoned from A-1 to I-1 on July 15, 2015 (ZMP 15:03).

A previous sketch plan (SDP 15:10) for this same property was reviewed and approved by the Planning Commission on July 22, 2015 by a vote of 4-0. This sketch plan requested approval to construct a 1,500 square foot office building and a 2,500 square foot storage building.

### **Analysis:**

The applicant is requesting sketch plan approval to construct a self-storage facility on property zoned I-1 and 4.337 acres in size. In accordance with Sec. 22-11-2.1 of the Fluvanna County Zoning Ordinance, self-storage facilities are permitted by right.

According to the submitted sketch plan, the applicant is proposing seven buildings of various sizes as follows:

- 5,690 SF
- 5,700 SF (two buildings)
- 7,050 SF
- 8,460 SF
- 10,270 SF
- 11,400 SF

The total square footage proposed is 54,384 square feet.

The project also includes construction of a parking area at the front of the site, and travelways and alleys around the buildings. The parking area will be paved while the travelways and alleys will be graveled.

In accordance with Sec. 22-11-5 and 22-11-6 of the zoning ordinance, the sketch plan is in compliance with the minimum building setback requirement of 100' from the street right-of-way and 50' from adjoining agriculturally zoned parcels.

(Attachment C)

### *Parking/Roads*

The subject property contains an existing gravel entrance from James Madison Highway (Route 15) that once served a residential use. This entrance will be improved and widened for the proposed project. VDOT will have to determine whether the entrance will be a low volume commercial entrance or a commercial entrance after the applicant provides additional information.

The sketch plan proposes a parking area containing eight (8) spaces with two of the spaces designated for handicapped parking. As there is not a specific parking requirement in Sec. 22-26-8 for self-storage facilities, the amount of parking required for unspecified uses must be sufficient for average number of employees and visitors.

### *Landscaping/Screening*

All landscaping will have to comply with Article 24 of the Fluvanna County Zoning Ordinance. Sec. 22-24-5 requires street trees along existing public streets. Sec. 22-24-6 requires interior landscaping and screening for the parking area. Sec. 22-24-7 requires commercial and industrial uses to be screened from view of adjacent properties that are in residential or agricultural zoning

districts. The applicant intends to retain some existing vegetation around the perimeter of the site to assist with screening the project from adjacent properties.

### *Outdoor Lighting*

Approximate locations of any proposed outdoor lighting have not been shown on the sketch plan, but will be required on the final site plan in accordance with Sec. 22-23-6(Q). of the Zoning Ordinance. All outdoor lighting must be fully shielded and utilize full cut-off lighting fixtures per Sec. 22-25-5.

### *Stormwater Management*

An erosion and sediment control plan will be required for review and approval prior to the issuance of any land disturbing permit.

### **Technical Review Committee:**

The following comments were received from the June 13, 2019 Technical Review Committee:

1. Planning staff asked if the entire perimeter of the property would be fenced (applicant responded yes). The applicant had questions regarding landscaping and signage requirements. Staff stated some landscaping is required in addition to a fence based on the ordinance, and that a sign permit would be required separately for any proposed signage. A monument sign is permitted a maximum sign area of 40 square feet.
2. Building Inspections did not have any comments.
3. Chamber of Commerce generally supports the application for the storage business. Our only question would be to find out how that would impact the growth prospects for that area after the water pipeline from Louisa is completed.
4. Department of Forestry did not have any comments.
5. Erosion and Sediment Control stated that a plan would have to be submitted to DEQ and had questions regarding silt fencing and outfall.
6. Fire Chief expressed concerns about the ability for fire apparatus to access buildings towards the sides and rear of the site. No paved access is currently proposed beyond the gate or to the sides of the buildings.
7. Sheriff's Department did not have any comments.
8. VDOT:
  1. Trip generation (ITE manual) will need to be provide to determine whether the new entrance into the site will be a low volume commercial entrance or a commercial entrance.
  2. Depending on the amount of trips into the site turn lane warrant analysis may be required.
  3. ~~The existing gravel entrance into the site is close to where the gore area for the~~

~~RT15/250 intersection starts. This may put the entrance within or close to the functional area of the intersection. Entrances are not allowed within the functional area of the intersection. I have reached out to traffic engineering to get clarification on where exactly they would consider the start of the functional area in this instance. I hope to have an answer back from them prior to the TRC meeting. (VDOT stated this comment could be disregarded).~~

4. Site distance will need to be verified when they submit their site plan to ensure that no site easements etc. are required.

(Attachment D)

### **Conclusion:**

The submitted sketch plan appears to meet the sketch plan requirements of Section 22-23-8.A of the Fluvanna County Zoning Ordinance. Prior to final approval, a site development plan that meets the requirements of Articles 23 through 26 of the Fluvanna County Zoning Ordinance must be submitted for staff review and approval.

### **Recommended Conditions:**

1. Meet all final site plan requirements which include, but are not limited to, providing parking, landscaping, and outdoor lighting;
2. Meet all required Erosion and Sedimentation Control regulations;
3. Meet all VDOT requirements.

### **Suggested Motions:**

I move to approve SDP 19:08, a sketch plan request to construct a self-storage facility with respect to 4.337 acres of Tax Map 5, Section A, Parcel 59, subject to the conditions listed in the staff report.

### **Attachments:**

A – Application  
B – Aerial Vicinity Map  
C – Site sketch plan  
D – TRC comment letter

Copy:

Applicant: Jasen Lane via email – [lane.jasen@gmail.com](mailto:lane.jasen@gmail.com)

File



**COMMONWEALTH OF VIRGINIA  
COUNTY OF FLUVANNA  
Site Development Application**

**Owner of Record:** William E. II & Ann E. Figgins

**Applicant of Record:** Jasen Lane

**E911 Address:** 11496 Monteford Rd. Orange, VA 22960

**E911 Address:**

**Phone:**

**Fax:**

**Phone:**

**Fax:**

**Email:**

**Email:** lane.jasen@gmail.com

**Representative:** Michael Chandler - Shimp Engineering, P.C.

**E911 Address:** 912 E. High St. Charlottesville, VA 22902

**Phone:** 434-227-5140

**Fax:**

**Email:** Michael@shimp-engineering.com

**Note:** If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.

Is property in Agricultural Forestal District? ☒ No ☐ Yes

If Yes, what district:

**Tax Map and Parcel(s):** 5-A-59

**Deed Book Reference:**

INST 180001389, DB 699-996, DB 18-362 PLAT

**Acreage:** 4.337

**Zoning:** I-1

**Deed Restrictions?** ☒ No ☐ Yes (Attach copy)

**Location:** Off RTE 15 - 1,000-ft South of RTE 250 and 15 Intersection.

**Description of Property:** Vacant lot, mostly turf with an existing driveway.

**Proposed Structure:** 7 Self-Storage Buildings

**Dimensions of Building:** Approx. 54,300 SF storage building area

**Lighting Standards on Site:** ☐ No ☐ Yes

**# of Employees:** none

**# of Parking Spaces:** TBD

**Noise Limitations:**

I declare that the statements made and information given on this application are true, full and correct to the best of my knowledge and belief. I agree to conform fully to all terms of any certificate or permit which may be issued on account of this application.

*Jasen Lane*

*[Signature]* 5/30/19

**Applicant Name (Please Print)**

**Applicant Signature and Date**

**OFFICE USE ONLY**

<b>Date Received:</b> June 3, 2019	<b>Fee Paid:</b> \$150.00	<b>Application #:</b> SDP 19-0008
<b>Election District:</b> Columbia	<b>Planning Area:</b> Zion Crossroads Comm	<b>Number of Lots:</b>
<b>Total Fees Due at Time of Submittal</b>		
<b>Sketch Plan:</b> \$150.00	<b>Minor Plan:</b> \$550.00	<b>Major Plan:</b> \$1,100.00
<b>Additional Fees Due at Time of Review</b>		
<b>Street Sign Installation:</b>	\$200.00 Per Intersection	
<b>Amendment of Plan</b>	\$150.00	
<b>Outdoor Lighting Plan Review*</b>	\$ 50.00	
<b>Landscape Plan Review*</b>	\$ 50.00	
<b>Tree Protection Plan Review*</b>	\$ 50.00	
* If not part of a Site Plan Review		

COMMONWEALTH OF VIRGINIA  
COUNTY OF FLUYANNA

## Non-Major Site Development Plan - Sketch Plan Checklist

Developed from the Zoning Ordinance April 1, 2006

This checklist must be completed and submitted with the completed application. **Any applications submitted without the completed checklist will be *promptly* returned to the applicant.**

**Project Name:** Lane Self Storage

**Tax Map(s) and Parcel Number(s):** 5-A-59

**Individual and Firm Completing Checklist:** Michael Chandler - Shimp Engineering, P.C.

Signature of Person Completing Checklist: Mark Moore

**Date:** 5-30-2019

**Administration:**

- ☒ 3 full-size folded clearly legible blue or black line copies [22-23-8.1]
- ☒ Site Development Plan Application Fee [22-23-8.3]

The sketch plan will convey the general concept of the proposed site development and shall **only** include the following:

- ☒ A general analysis of the site, showing existing slopes, drainageways, tree stands, site features and amenities to be preserved, conservation areas, historic features, & the like **[22-23-8.A.5.a]**
- ☒ Approximate location and size of the buildings **[22-23-8.A.5.b]**
- ☒ General points of access **[22-23-8.A.5.c]**
- ☒ General street, roadway, and parking layouts **[22-23-8.A.5.d]**
- ☐ Any exterior lighting **[22-23-8.A.5.e]**

**COUNTY STAFF ONLY**

**Staff:** \_\_\_\_\_

Date Received: \_\_\_\_\_

Date Reviewed:

**Additional Notes:**

[illegible]



May 30<sup>th</sup>, 2019

Mr. Brad Robinson  
Senior Planner  
Fluvanna County Community Development  
132 Main Street  
Palmyra, VA 22963

**Regarding: Lane Self Storage – Preliminary Sketch Plan**

Mr. Robinson,

Please find attached the Preliminary Sketch Plan for the Lane Self Storage project in Fluvanna County. The following items have been included with this submittal.

Contents:

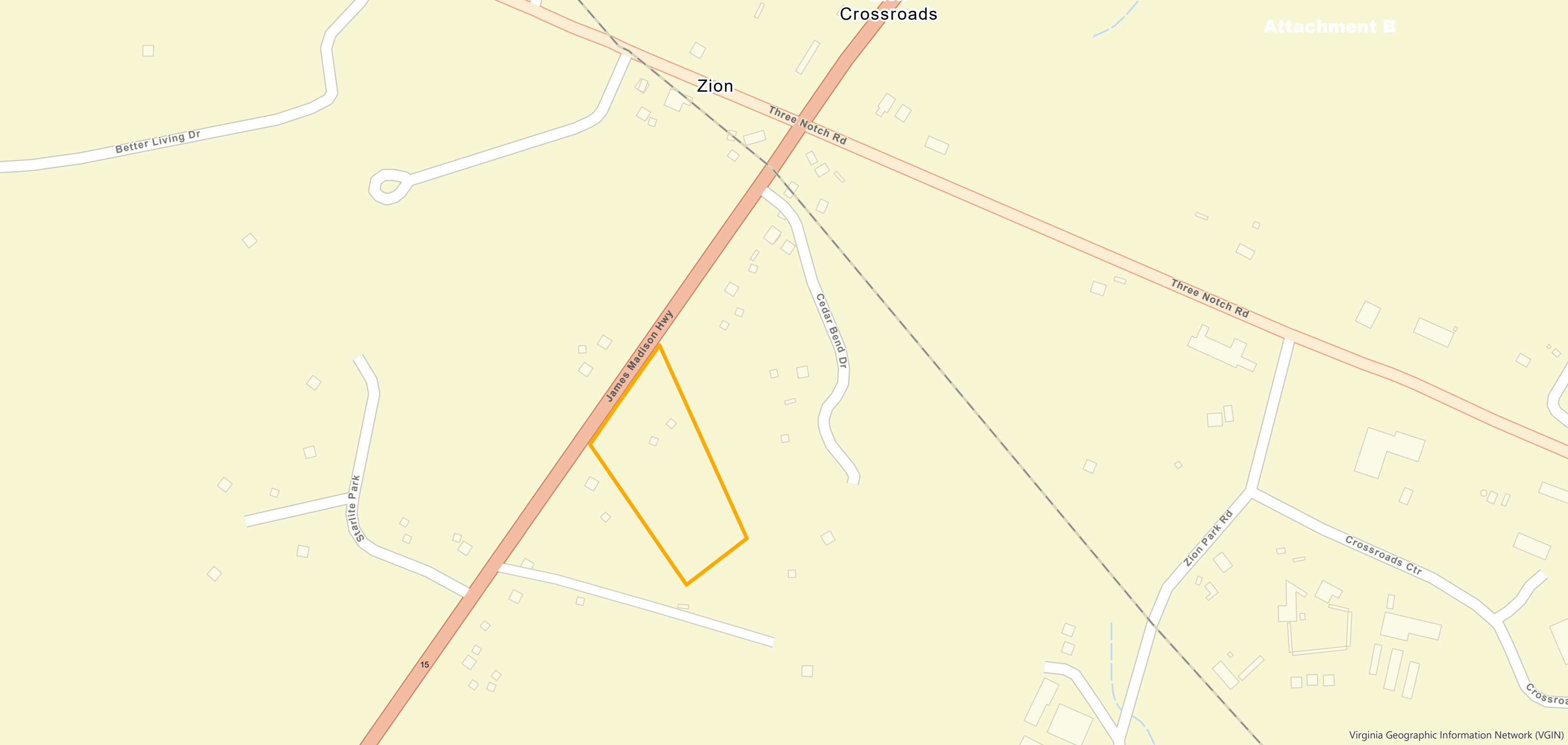
Preliminary Sketch Plan (3 Copies)  
Site Development Application  
Sketch Plan Checklist  
Fee Payment (Check for \$150)

If you have any questions please do not hesitate to contact me at [Michael@shimp-engineering.com](mailto:Michael@shimp-engineering.com) or you may call our office at 434-227-5140.

Best Regards,

A handwritten signature in black ink, appearing to read 'Michael Chandler', is written over a horizontal line.

Michael Chandler  
Shimp Engineering, P.C.



Crossroads

Zion

Better Living Dr

Three Notch Rd

Three Notch Rd

James Madison Hwy

Cedar Bend Dr

Starlite Park

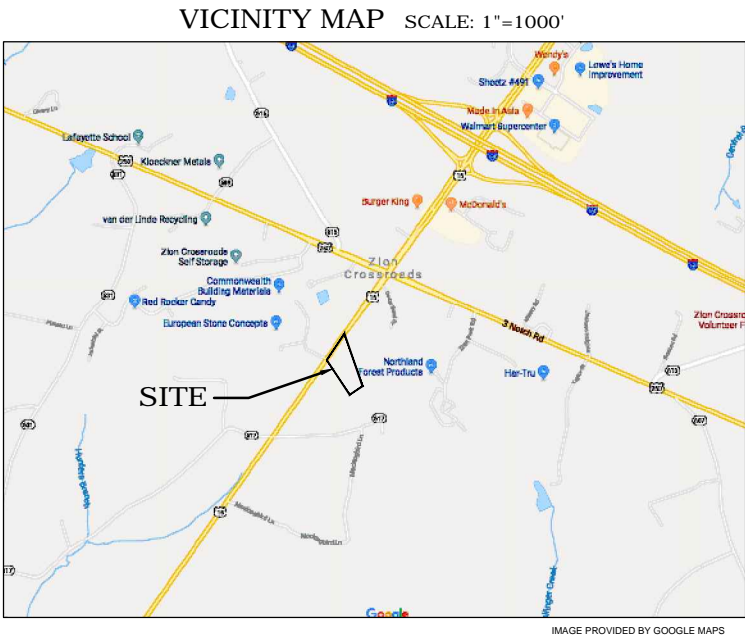
Zion Park Rd

Crossroads Ctr

15

Crossroads

PRELIMINARY SITE PLAN FOR  
LANE SELF STORAGE  
TAX MAP 5 SECTION A PARCEL 59  
FLUVANNA COUNTY, VIRGINIA



SHEET INDEX

SHEET C1 - COVER SHEET  
SHEET C2 - SITE PLAN  
SHEET C3 - FIRE TRUCK ACCESS EXHIBIT

OWNER / DEVELOPER

William E. II & Ann E. Figgins  
11496 Monteford Rd.  
Drange, VA 22960

ZONING

I-1

LEGAL REFERENCE

INST 180001389  
DB 699-996  
DB 18-362 PLAT  
4.337 AC

DISTRICTS

Magisterial Palmyra

SOURCE OF BOUNDARY & TOPO

Boundary provided by: Bryan J. Chambers  
Existing Topography provided by: Fluvanna County GIS

EXISTING USE

Vacant Lot

PROPOSED USE

Indoor Self-Storage Facility  
Seven (7) Storage Buildings  
54,270 SF Total Storage Area

LIGHTING

Wall mounted fixtures to be provided along each building.

TRIP GENERATION

Per: ITE Trip Generation Manual, 9th Edition  
Trip Generation Code 151  
Expected Daily Trip is 82 trips/day  
AADT (Route 15) = 8500  
RTE 15 Design Speed = 55 mph

Lane Self Storage - Trip Generation

ITE	QTY	Daily	AM			PM		
			IN	OUT	Total	IN	OUT	TOTAL
151	54,270	82	5	6	11	6	5	11
IV=	1000 Sq-ft GFA	54.27						

*SHIMP ENGINEERING, P.C.*

ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT

912 E HIGH ST  
CHARLOTTESVILLE, VA 22902  
PHONE: (434) 227-5140  
JUSTIN@SHIMP-ENGINEERING.COM

EXISTING 5-FT CONTOURS SHOWN ARE PER  
FLUVANNA COUNTY GIS

SWM RUNOFF MANAGED BY  
UNDERGROUND DETENTION

SWM RUNOFF RELEASED PER  
ENERGY BALANCE EQUATION

T.M. 5-A-57A  
KENDRICK, DWAYNE ALLEN  
DB 951-367  
ZONED: A-1  
15.36 ACRES

SCREENING  
SHRUBS @  
10' SPACING  
(AS NEEDED)

T.M. 5-A-57D  
MELTON, HORACE E., JR. & KAREN  
DB 77-253  
ZONED: A-1  
0.94 ACRES

SCREENING  
SHRUBS @  
10' SPACING

T.M. 5-A-58  
MELTON, HORACE E., JR. & KAREN  
DB 77-253  
ZONED: A-1  
0.64 ACRES

NEW 6'  
FENCE

T.M. 5-A-59  
FIGGINS, WILLIAM E. III & ANN E  
INST 180001389  
ZONED: I-1  
4.337 ACRES

TAPER TO  
BE PROVIDED

EXISTING  
ENTRANCE  
TO BE IMPROVED

U.S. RT. 15

**SHIMP ENGINEERING, P.C.**

ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT

912 E HIGH ST  
CHARLOTTESVILLE, VA 22902 JUSTIN@SHIMP-ENGINEERING.COM

## LANE SELF-STORAGE: PRELIMINARY SITE PLAN

Revised: 6-25-2019

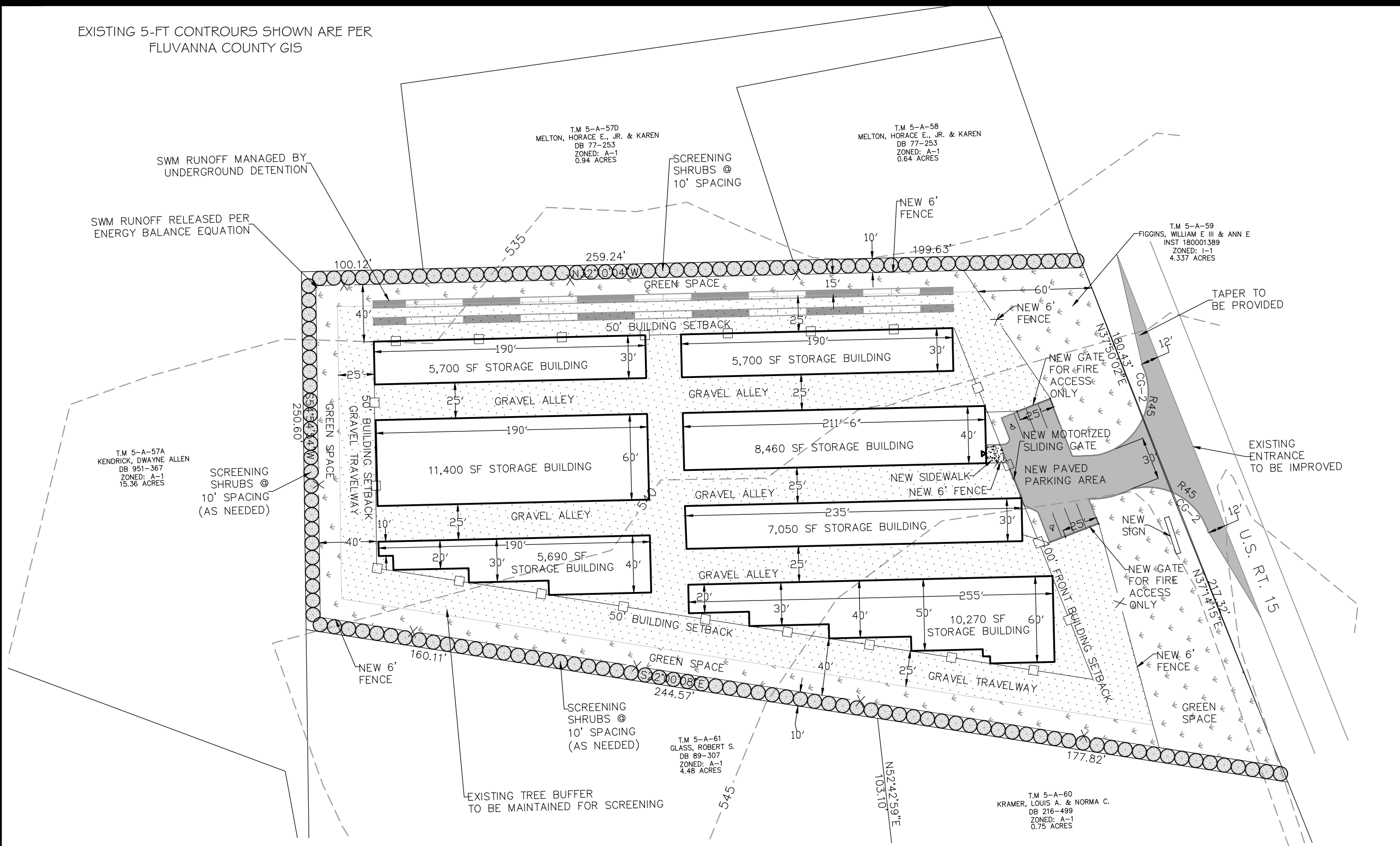
Sheet C2

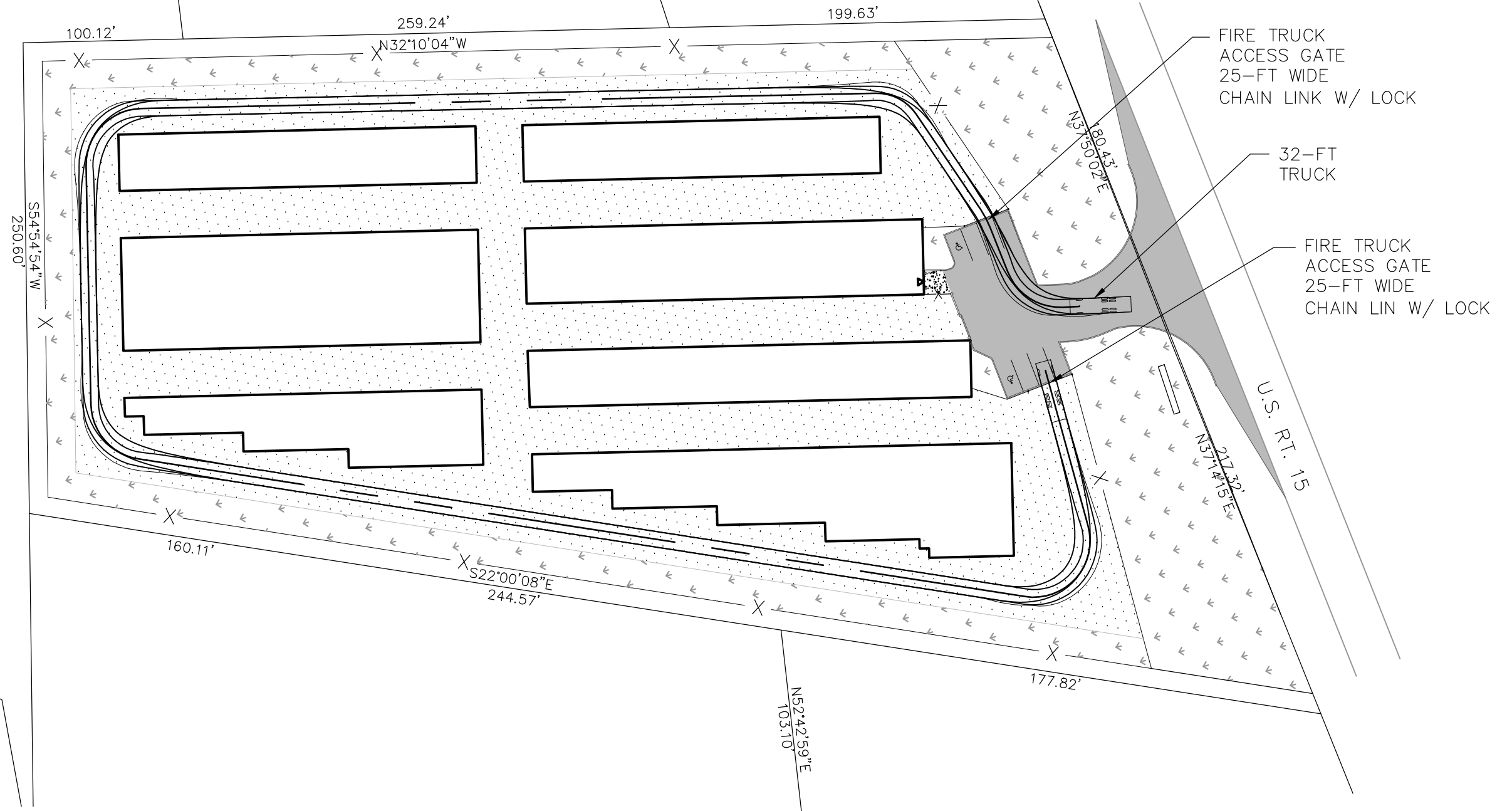
EXISTING TREE BUFFER  
TO BE MAINTAINED FOR SCREENING

SCREENING  
SHRUBS @  
10' SPACING  
(AS NEEDED)

T.M. 5-A-61  
GLASS, ROBERT S.  
DB 89-307  
ZONED: A-1  
4.48 ACRES

T.M. 5-A-60  
KRAMER, LOUIS A. & NORMA C.  
DB 216-499  
ZONED: A-1  
0.75 ACRES





# LANE SELF-STORAGE: FIRE TRUCK ACCESS EXHIBIT

Revised: 6-25-2019

Sheet C3

**SHIMP ENGINEERING, P.C.**

ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT

912 E HIGH ST  
CHARLOTTESVILLE, VA 22902  
PHONE: (434) 227-5140  
JUSTIN@SHIMP-ENGINEERING.COM



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[www.fluvannacounty.org](http://www.fluvannacounty.org)

June 14, 2019

Michael Chandler  
Shimp Engineering, P.C.  
912 E. High Street  
Charlottesville, VA 22902

Delivered via email to [michael@shimp-engineering.com](mailto:michael@shimp-engineering.com)

**Re: SDP 19:08 – Lane Self Storage**  
**Tax Map:** 5, Section A, Parcel 59

Dear Mr. Chandler:

The following comments have been received from the Technical Review Committee:

1. Planning staff asked if the entire perimeter of the property would be fenced (applicant responded yes). The applicant had questions regarding landscaping and signage requirements. Staff stated some landscaping is required in addition to a fence based on the ordinance, and that a sign permit would be required separately for any proposed signage. A monument sign is permitted a maximum sign area of 40 square feet.
2. Building Inspections did not have any comments.
3. Chamber of Commerce generally supports the application for the storage business. Our only question would be to find out how that would impact the growth prospects for that area after the water pipeline from Louisa is completed.
4. Department of Forestry did not have any comments.
5. Erosion and Sediment Control stated that a plan would have to be submitted to DEQ and had questions regarding silt fencing and outfall.
6. Fire Chief expressed concerns about the ability for fire apparatus to access buildings towards the sides and rear of the site. No paved access is currently proposed beyond the gate or to the sides of the buildings.
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4. Site distance will need to be verified when they submit their site plan to ensure that no site easements etc. are required.

The Planning Commission will have a meeting to discuss this item on Tuesday, July 9, 2019.  
Your attendance is required at this meeting.

If you have any questions or need additional information, please contact me at 434-591-1910.

Sincerely,

Brad Robinson  
Senior Planner  
Dept. of Planning & Zoning

cc: File  
Jasen Lane, Applicant – [lane.jasen@gmail.com](mailto:lane.jasen@gmail.com)



---

# COUNTY OF FLUVANNA

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Fax (434) 591-1911  
[www.fluvannacounty.org](http://www.fluvannacounty.org)

## STAFF REPORT

**To:** Fluvanna County Planning Commission  
**Case Number:** SDP 19:10  
**Tax Map:** Tax Map 10, Section A, Parcel 32

**From:** Brad Robinson  
**District:** Columbia  
**Date:** July 9, 2019

**General Information:**

This item is scheduled to be heard by the Planning Commission on Tuesday, July 9, 2019 at 7:00 p.m. in the Circuit Courtroom in the Courts Building.

**Applicant/Owner:**

Central Virginia Electric Cooperative

**Representative:**

P. Massie Saunders, Saunders Surveys Inc.

**Requested Action:**

Approval of a sketch plan request to construct an employee parking area containing 26 spaces with respect to 41.815 acres of Tax Map 10, Section A, Parcel 32. (Attachment A)

**Location:**

The property is located between Salem Church Road (Route 644) and James Madison Highway (U.S. Route 15), approximately ¼ mile south of the intersection with Union Mills Road (Route 616). (Attachment B)

**Existing Zoning:**

B-1, Business, General

**Existing Land Use:**

Central Virginia Electric Cooperative operations site

**Adjacent Land Uses:**

Adjacent properties are zoned A-1.

**Comprehensive Plan:**

Rural Residential Planning Area

**Zoning History:**

A rezoning (ZMP 74:02) from A-1 to B-1 was approved for this property on May 6, 1974; a Special Use Permit (SUP 95-03) for a telecommunications facility was approved on June 21, 1995; and four (4) site development plans have been approved: SDP 02:03 for office space on April 29, 2002; SDP 08:13 for office and work buildings on August 26, 2008; SDP 11:11 for a 9,600 square foot training facility on July 9, 2012; and SDP 16:02 for an office building, truck bay and warehouse was approved on June 24, 2016.

The training facility (SDP 11:11) is located across Salem Church Road which is now identified as a separate parcel, Tax Map 10-A-32A, and no longer a part of the subject property.

### **Analysis:**

The applicant is requesting sketch plan approval to construct an employee parking area containing 26 spaces with respect to 41.815 acres of Tax Map 10, Section A, Parcel 32.

The property is currently developed with several buildings and parking areas for the Palmyra office of Central Virginia Electric Cooperative. A larger office building, truck bays and storage shed were recently constructed near the site entrance from Salem Church Road (Route 644) as approved by site development plan SDP 16:02. A proposed warehouse also shown on this site plan has not yet been constructed.

The existing parking area adjacent to the office building currently serves two purposes, with the area containing 17 spaces generally reserved for customers and visitors to the site and the area containing 26 spaces reserved for employees. Due to an increase in the number of employees at the Palmyra office for the Firefly fiber broadband project, the parking area reserved for employees is no longer sufficient and additional parking spaces are needed.

In accordance with Sec. 22-9-6 of the zoning ordinance, the sketch plan is in compliance with the minimum setback requirement of 25' from adjoining agriculturally zoned parcels.

(Attachment C)

### *Parking/Roads*

While the property has frontage along two streets, the proposed parking area will be accessed from Salem Church Road (Route 644) and constructed of gravel with a possibility for paving at a later time. The property currently contains 43 parking spaces adjoining the new office, and the proposed parking area will increase this number to 69 spaces.

### *Landscaping/Screening*

All landscaping will have to comply with Article 24 of the Fluvanna County Zoning Ordinance. Sec. 22-24-6 will require planting areas at the end of parking bays and a planting strip between access roadways. Additionally, parking spaces consisting of five spaces or more must be screened from view of public roads, rights-of-way, and adjacent properties.

### *Outdoor Lighting*

All outdoor lighting must be fully shielded and utilize full cut-off lighting fixtures per Sec. 22-25-5 of the zoning ordinance. The applicant does not propose any lighting fixtures in the parking area at this time.

### *Stormwater Management*

The approved erosion and sediment control plans will need to be amended and reviewed by the county and DEQ prior to construction. The sediment pond adjacent to the future warehouse site is proposed to be increased by 25 feet to accommodate the additional runoff.

### **Technical Review Committee:**

The following comments were received from the June 13, 2019 Technical Review Committee:

1. Planning staff stated that further discussion may be needed with regard to landscaping requirements. Staff also requested that the final site plan not combine multiple layers on one sheet as currently shown on the sketch plan.
2. Building Inspections did not have any comments.
3. Chamber of Commerce did not have any comments.
4. Department of Forestry did not have any comments.
5. Erosion and Sediment Control did not have any comments. The applicant stated that an amended plan would be submitted to DEQ.
6. Fire Chief did not have any comments.
7. Sheriff's Department did not have any comments.
8. VDOT has no comments on SDP 19:10 Central Virginia Electric Cooperative (Site Plan) at this time. It appears that the purpose of the project is just to provide additional parking, and will not result in an increase in trips into the site, or impact the existing ROW. However this may change once we have had a chance to conduct a full review of the site plan.

(Attachment D)

### **Conclusion:**

The submitted sketch plan appears to meet the sketch plan requirements of Section 22-23-8.A of the Fluvanna County Zoning Ordinance. Prior to final approval, a site development plan that meets the requirements of Articles 23 through 26 of the Fluvanna County Zoning Ordinance must be submitted for staff review and approval.

### **Recommended Conditions:**

1. Meet all final site plan requirements which include, but are not limited to, providing parking, landscaping, and outdoor lighting;
2. Meet all required Erosion and Sedimentation Control regulations;
3. Meet all VDOT requirements.

**Suggested Motions:**

I move to approve SDP 19:10, a sketch plan request to construct an employee parking area containing 26 space with respect to 41.815 acres of Tax Map 10, Section A, Parcel 32, subject to the conditions listed in the staff report.

**Attachments:**

- A – Application
- B – Aerial Vicinity Map
- C – Site sketch plan
- D – TRC comment letter

Copy: Applicant:  
File



COMMONWEALTH OF VIRGINIA  
COUNTY OF FLUVANNA  
Site Development Application

Owner of Record: Central Virginia Electric Coop

Applicant of Record: Jay Palmer, *Operations Manager, CVEC*

E911 Address: 1224 Salem Church Road, Palmyra, Va.

E911 Address: 800 Cooperative Way, Arrington, Va.

Phone: Fax:

Phone: 434-981-6984 Fax: 22922

Email:

Email: jpalmer@MyCVEC.com

Representative: Saunders' Surveys, Inc., P. Massie Saunders, Jr.

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.

E911 Address: 329 Crabtree Falls Highway, Roseland, Va. 22967

Phone: 434-277-8574 Fax: 434-277-8626

Is property in Agricultural Forestal District? ☒ No ☐ Yes

Email: massie@saunderssurveys.com

If Yes, what district:

Tax Map and Parcel(s): 10-A-32

Deed Book Reference: D. B. 53, PG. 132 & 289

Acreage: 41.815 Ac. Zoning: B-1

Deed Restrictions? ☒ No ☐ Yes (Attach copy)

Location: On Rt. #644, Salem Church Road, approximately 0.2 miles southwest of the intersection with Rt. #616

Description of Property: Existing Central Virginia Electric Coop Office

Proposed Structure: None proposed, only additional parking needed for employees

Dimensions of Building: Lighting Standards on Site: ☐ No ☐ Yes

# of Employees: # of Parking Spaces: 26

Noise Limitations:

I declare that the statements made and information given on this application are true, full and correct to the best of my knowledge and belief. I agree to conform fully to all terms of any certificate or permit which may be issued on account of this application.

*P. Massie Saunders, Jr.*

*P. Massie Saunders* 6/3/19

Applicant Name (Please Print)

Applicant Signature and Date

OFFICE USE ONLY		
Date Received: <i>June 3, 2019</i>	Fee Paid: <i>\$1450.00</i>	Application #: <i>SDP 19 :0010</i>
Election District: <i>Columbia</i>	Planning Area: <i>Rural Residential</i>	Number of Lots:
<b>Total Fees Due at Time of Submittal</b>		
Sketch Plan: \$150.00	Minor Plan: \$550.00	Major Plan: \$1,100.00
<b>Additional Fees Due at Time of Review</b>		
Street Sign Installation:	\$200.00 Per Intersection	
Amendment of Plan	\$150.00	
Outdoor Lighting Plan Review*	\$ 50.00	
Landscape Plan Review*	\$ 50.00	
Tree Protection Plan Review*	\$ 50.00	
* If not part of a Site Plan Review		



3 June 2019

Planning and Building Officials  
Fluvanna County  
132 Main Street  
Palmyra, VA 22963

Re: CVEC Designated Representative for Construction Projects

To the County Planning and Building Officials:

CVEC intends to construct an additional paved parking lot and an additional warehouse near its division office at 1224 Salem Church Road. These will both be built in 2019 in two separate projects.

We have assigned Massie Saunders as our agent and representative to take all actions necessary in the name of Central Virginia Electric Cooperative to allow for the Cooperative to receive the necessary permits and permissions to for the new constructed areas be placed on the site and into service. If there are any questions related to this authorization, please call me at 434-263-8336, extension 1100.

Sincerely,

A handwritten signature in black ink, appearing to read "Gary E. Wood", is written over a faint, larger signature.

Gary E. Wood  
President and CEO



COMMONWEALTH OF VIRGINIA  
COUNTY OF FLUVANNA

## Major Site Development Plan - Sketch Plan Checklist

Developed from the Zoning Ordinance April 1, 2006

This checklist must be completed and submitted with the completed application. **Any applications submitted without the completed checklist will be promptly returned to the applicant.**

Project Name: Central Virginia Electric Coop Parking Lot

Tax Map(s) and Parcel Number(s): \_\_\_\_\_

Individual and Firm Completing Checklist: Saunders' Surveys, Inc.  
P. Massie Saunders, Jr.

Signature of Person Completing Checklist: P. Massie Saunders

Date: 5/31/19

### Administration:

- ☒ 20 11" x17" and 3 full-size folded clearly legible blue or black line copies [22-23-8.1]
- ☐ After review by technical Review Committee, revisions may be required. If such revisions are required, 20 11"x17" and 3 full-size clearly legible blue or black line copies of the site plan will be required by the revision deadline indicated by staff (see attached permitting schedule) [22-23-8.A.2]
- ☒ Site Development Plan Application Fee (See attached fee schedule) [22-23-8.3]  
\$15000

The sketch plan will convey the general concept of the proposed site development and shall **only** include the following:

- ☒ A general analysis of the site, showing existing slopes, drainageways, tree stands, site features and amenities to be preserved, conservation areas, historic features, & the like [22-23-8.A.5.a]

N/A Approximate location and size of the buildings [22-23-8.A.5.b]

- ☒ General points of access [22-23-8.A.5.c]

- ☒ General street, roadway, and parking layouts [22-23-8.A.5.d]

N/A Any exterior lighting [22-23-8.A.5.e]

### COUNTY STAFF ONLY

Staff: \_\_\_\_\_

Date Received: \_\_\_\_\_

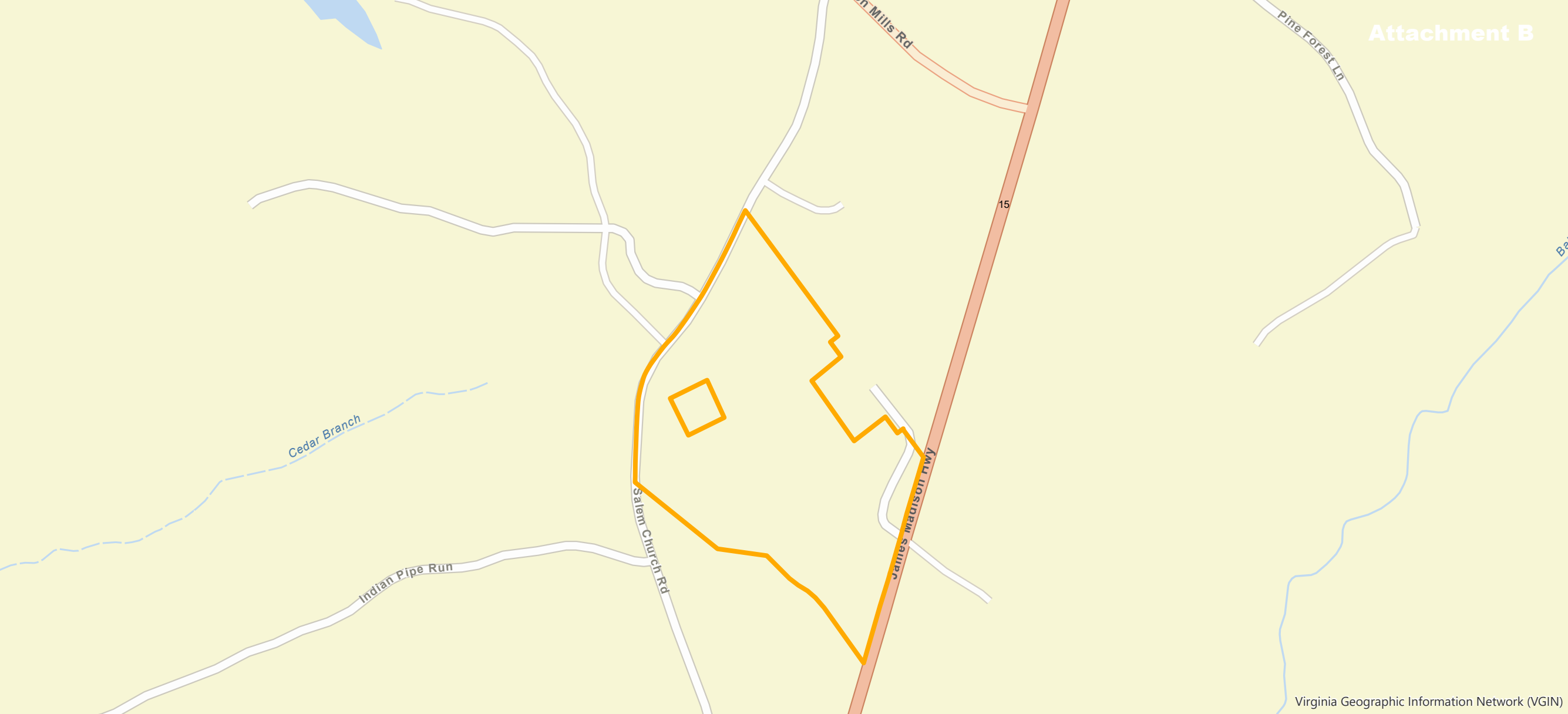
Date Reviewed: \_\_\_\_\_

Additional Notes: \_\_\_\_\_

Received

JUN 03 2019

Fluvanna County



NOTES:  
1. THE ENGINEER AND/OR SURVEYOR TAKES NO RESPONSIBILITY FOR THE LOCATION OR ACCURACY OF THE UTILITIES SHOWN HEREON OR ANY UTILITIES WITHIN THE PROJECT THAT MAY NOT BE SHOWN HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES TO SEE IF ANY UTILITIES EXIST WITHIN THE AREA OF THE PROJECT BEFORE ANY CONSTRUCTION BEGINS. ANY COST INCURRED BY DAMAGING ANY UTILITY WITHIN THE PROJECT SHALL BE AT THE EXPENSE OF THE CONTRACTOR.  
2. HORIZONTAL DATUM: GPS OBSERVATION, GRID NORTH.  
3. VERTICAL DATUM: GPS OBSERVATION, NAVD 83.  
4. PROPERTY SHOWN IS A PORTION OF TAX MAP #10-A-32 AND IS ZONED B-1. THE AREA BEING DEVELOPED DOES NOT FALL WITHIN THE 100 YEAR FLOOD PLAIN.  
5. THERE ARE NO WETLANDS WITHIN THE AREA OF THE PROPOSED DEVELOPMENT. THESE DRAWINGS WERE PREPARED AT THE REQUEST OF (BUILDING ADDRESS) CENTRAL VIRGINIA ELECTRIC COOPERATIVE, P. O. BOX 247, LOUISBURG, VA. 22949. (PHYSICAL ADDRESS) 800 COOPERATIVE WAY, ARLINGTON, VA., 22202. CONTACT PERSON: JAY PALMER, 434-981-8884.  
6. CONTRACTOR IS TO CONFIRM THAT ALL PERMITS AND BONDS AS DESIRED NECESSARY BY FLUVANNA COUNTY HAVE BEEN ACQUIRED. THERE ARE NO WETLANDS OR STREAMS BEING DISTURBED AS A PART OF THIS DEVELOPMENT AND THEREFORE NO STATE OR FEDERAL PERMITS ARE REQUIRED FOR IMPACTS TO WETLANDS OR STREAMS.  
7. CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ANY WASTE, CONSTRUCTION DEBRIS, AND TRASH GENERATED FROM THE WORK ON THIS SITE. THE SITE CONTRACTOR SHALL NOTIFY FLUVANNA COUNTY AS TO THE LOCATION OF THE DISPOSAL AREA FOR ANY EXCESS SOIL OR DEBRIS REMOVED FROM THE SITE.  
8. ALL LAND DISTURBED AS A PART OF THIS PROJECT SHALL BE LEFT SO THAT IT CAN BE MAINTAINED BY LAWN MOWING EQUIPMENT. ALL ROCKS, ROOTS, BRUSH, ETC. SHALL BE DISPOSED OF PROPERLY.  
9. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY 48 WORKING HOURS PRIOR TO STARTING WORK AND ADVISE OF THE NATURE AND LOCATION OF THE WORK.

GENERAL CONSTRUCTION NOTES:  
1. OBTAIN ALL PERMITS AND POST ALL BONDS AS REQUIRED BY FLUVANNA COUNTY. CONTRACTOR IS REQUIRED TO FURNISH THE NAME AND OTHER INFORMATION FOR THEIR RESPONSIBLE LAND DISTURBER PRIOR TO ANY LAND DISTURBANCE.  
2. CALL MISS UTILITY AND HAVE ALL UNDERGROUND UTILITIES MARKED.  
3. EROSION AND SEDIMENT CONTROL DEVICES MUST BE SET PRIOR TO OR IN CONJUNCTION WITH PROPOSED EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT. ALL EROSION CONTROL DEVICES SHALL BE CHECKED DAILY TO ENSURE THAT ALL ARE PROPERLY IN PLACE AND FUNCTIONING AS REQUIRED.  
4. RELOCATE ANY UTILITIES WITHIN THE CONSTRUCTION AREA, AS REQUIRED. NOTE THAT THE EXISTING UTILITIES IN THE AREA OF THE PROPOSED NEW PARKING LOT SHOULD BE SUFFICIENTLY DEEP IN THE GROUND TO AVOID HAVING TO BE RELOCATED. POT HOLE AS NECESSARY TO CONFIRM.  
5. TAKE OUT TREES AS NECESSARY ALONG EXISTING DRIVE AND RELOCATE, IF POSSIBLE. SEE LANDSCAPE/EROSION AND SEDIMENT CONTROL PLAN FOR LOCATION OF TREES THAT WILL NEED TO BE RELOCATED.  
6. INSTALL (2) CONDUITS AS INDICATED FOR FUTURE UTILITY RUNS AS MAY BE NECESSARY IN THE FUTURE.  
7. CUT IN SUBGRADE FOR PARKING AREA AND APPLY STONE. THE INITIAL PARKING LOT SHALL BE 11" OF COMPACTED STONE. IF PAVEMENT IS DESIRED IN THE FUTURE, CUT OFF THE TOP 5" OF STONE AND PAVE AS PER DETAIL.  
8. SEED AND STABILIZE AS REQUIRED BY EROSION AND SEDIMENT CONTROL REQUIREMENTS.  
9. COMPLETE PARKING LOT. SET PARKING BLOCKS PER DETAIL.  
10. UPON COMPLETE STABILIZATION OF SITE AND RELEASE OF BOND, REMOVE ALL SEDIMENT AND STABILIZE AS NECESSARY. REMOVE ANY REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.

UTILITIES LEGEND:  
— UNDERGROUND ELECTRIC AND WATER LINE  
— UNDERGROUND WATER  
— UNDERGROUND SEWER  
— UNDERGROUND ELECTRIC  
— UNDERGROUND CONDUITS TO TOWER SITE  
— UNDERGROUND GAS LINES  
PB PULL BOX  
YH FREEZE PROOF YARD HYDRANT

(4) NEW 2" CONDUITS, BEGINNING AND TERMINATING IN (4) NEW PULL BOXES (2 RUNS PER BOX), FOR FUTURE INSTALLATION OF UTILITIES

LANDSCAPE KEY:  
● BLACK-EYED SUSANS  
● RED SPRITE  
● JIM DANDY  
● NERITA DOMESTICA  
● YIBURNUM CARLEBII  
● GREEN BEAUTY BOWWOOD  
● CROPE MYRTLE- MULTI STEM- TONTO  
● LITTLE PRINCESS SPIRAEA  
● LITTLE LIME HYDRANGEA  
● KARL FÖRSTER GRASS  
● MAIDEN GRASS  
● SKY PENCIL  
● SHAMROCK  
○ SWEET BAY MAGNOLIA (M)  
○ AMERICAN HOLLY  
○ WILLOW OAK (MO)  
○ OCTOBER GLORY (OG)  
○ AUTUMN BLAZE (AB)  
○ RIVER BIRCH - MULTI TRUNK (RB)



PROPOSED ADDITIONAL PARKING FOR  
**CENTRAL VIRGINIA ELECTRIC COOP**  
FOR DEVELOPMENT OF NEW FACILITIES AT  
**PALMYRA OFFICE**

PALMYRA DISTRICT, COUNTY OF FLUVANNA, VIRGINIA

Fluvanna County

Received  
JUN 03 2019

REVISIONS:

FILE #2899-D
CON. #218087
218087A.PRO
PROJECT #218087
COORDINATE FILE #210034
DATE: APRIL 4, 2019
SCALE: 1" = 30'
<b>SAUNDERS' SURVEYS, INC.</b>
329 CRABTREE FALLS HIGHWAY ROSELAND, VIRGINIA 22967 434-277-8574 www.saunderssurveys.com

SHEET NO.  
1 OF 1



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## COUNTY OF FLUVANNA

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*"Responsive & Responsible Government"*

132 Main Street  
P.O. Box 540  
Palmyra, VA 22963  
(434) 591-1910  
Fax (434) 591-1911  
[www.fluvannacounty.org](http://www.fluvannacounty.org)

June 14, 2019

P. Massie Saunders, Jr.  
Saunders' Surveys Inc.  
329 Crabtree Falls Highway  
Roseland, VA 22967

Delivered via email to [massie@saunderssurveys.com](mailto:massie@saunderssurveys.com)

**Re: SDP 19:10 – Central Virginia Electric Cooperative Parking Lot**  
**Tax Map:** 10, Section A, Parcel 32

Dear Mr. Saunders:

The following comments have been received from the Technical Review Committee:

1. Planning staff stated that further discussion may be needed with regard to landscaping requirements. Staff also requested that the final site plan not combine multiple layers on one sheet as currently shown on the sketch plan.
2. Building Inspections did not have any comments.
3. Chamber of Commerce did not have any comments.
4. Department of Forestry did not have any comments.
5. Erosion and Sediment Control did not have any comments. The applicant stated that an amended plan would be submitted to DEQ.
6. Fire Chief did not have any comments.
7. Sheriff's Department did not have any comments.
8. VDOT has no comments on SDP 19:10 Central Virginia Electric Cooperative (Site Plan) at this time. It appears that the purpose of the project is just to provide additional parking, and will not result in an increase in trips into the site, or impact the existing ROW. However this may change once we have had a chance to conduct a full review of the site plan.

The Planning Commission will have a meeting to discuss this item on Tuesday, July 9, 2019. Your attendance is required at this meeting.

If you have any questions or need additional information, please contact me at 434-591-1910.

Sincerely,

Brad Robinson  
Senior Planner  
Dept. of Planning & Zoning

cc: File  
Jay Palmer, Operations Manager – [jpalmer@MyCVEC.com](mailto:jpalmer@MyCVEC.com)



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# COUNTY OF FLUVANNA

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P.O. Box 540  
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## STAFF REPORT

**To:** Fluvanna County Planning Commission

**Case Number:** SUB 18:25

**Tax Map:** Tax Map 9, Section A, Parcels 11, 11B, 11F & 11G

**From:** Brad Robinson

**District:** Palmyra

**Date:** July 9, 2019

**General Information:**

This item is scheduled to be heard by the Planning Commission on Tuesday, July 9, 2019 at 7:00 p.m. in the Circuit Courtroom in the Courts Building.

**Proposed Sub. Name:**

Lafayette Place

**Applicant/Owner:**

Rivanna Investments LLC & Steger Investments LLC

**Representative:**

Shimp Engineering P.C.

**Requested Action:**

Approval of a sketch plan request for a rural cluster minor subdivision with respect to 12.53 acres of Tax Map 9, Section A, Parcels 11, 11B, 11F and 11G. The applicant is proposing four (4) building lots and 9.43 acres designated as open space. (Attachment A)

**Location:**

The affected property is located along Lake Monticello Road (Route 618), approximately 785 feet west of its intersection with River Run Drive. The parcels are zoned A-1, Agricultural, General and located within the Rivanna Community Planning Area and the Palmyra Election District. (Attachment B)

**Existing Zoning:**

A-1, Agricultural, General

**Total Area of Development:**

12.53 acres (9.43 acres in open space, or 75%)

**Total Number of Lots Proposed:**

Four (4) residential, plus open space

**Average Lot Size:**

0.775 acres

**Existing Land Use:**

Vacant/undeveloped land

**Adjacent Land Uses:**

Adjacent properties are zoned A-1 and R-4, Residential, Limited (Lake Monticello).

**Comprehensive Plan:** Rivanna Community Planning Area

**Zoning History:** None

**Project History:**

This project was initially submitted on July 2, 2018 as a minor subdivision proposing four lots to be served by a private road. Because the proposed lots were less than 10 acres in size as required by Section 19-8-1(c) of the subdivision ordinance, the project was revised and resubmitted on September 13, 2018 as a minor rural cluster subdivision containing five lots. The applicant was advised that a rural cluster subdivision also requires submittal of a yield plan and review/approval by the Planning Commission in accordance with Section 19-4-5 of the subdivision ordinance.

The project was resubmitted February 1, 2019 as two minor rural cluster subdivisions containing five lots each and a total of 10 lots, all to be served by a private road. The proposal was reviewed by the Technical Review Committee on February 14, 2019 and staff discussed several questions with the applicant and recommended the sketch plan be revised to show each proposed rural cluster on separate sheets. After additional discussion with the zoning administrator, it was determined that the proposal classified as a major subdivision (the division of a parcel of land into six or more lots) which would not be permitted to be served by a private road.

The project was resubmitted May 1, 2019 as a minor rural cluster subdivision containing four lots plus an open space parcel served by a private road.

**Analysis:**

Minor subdivisions typically only require administrative approval, however rural cluster subdivisions require Planning Commission review in accordance with Section 19-4-5 of the subdivision ordinance. Pursuant to the subdivision ordinance, a yield plan and sketch plan are required to be submitted contemporaneously for review by the Planning Commission. *(The yield plan is used to determine the number of lots that could practically be developed on the subject property as a conventional subdivision, in accordance with all applicable regulations. The sketch plan is a conceptual, informal map of the proposed subdivision used for the purpose of discussion and providing the subdivider with comments before investing in preparation of a preliminary or final plat).*

Section 24-4-10 of the zoning ordinance outlines density, lot size, open space requirements for rural cluster development in an A-1 zoning district. The yield plan and rural cluster sketch plan submitted by the applicant are similar in detail and have been designed to conform to these requirements.

While four parcels are identified as being involved with this proposal, essentially only one parcel will be subdivided into a rural cluster subdivision after the four parcels are reconfigured from

boundary adjustments as shown on Sheets C2 and C3 of the sketch plan. The total acreage of all four parcels is 30.47 acres, but only 12.53 acres will be involved with the proposed subdivision.

#### Yield Plan Analysis (Attachment C):

The yield plan is used to determine what could be practicably developed on the property as a conventional subdivision. In an A-1 zoning district, the maximum residential density allowed is one (1) dwelling unit per two (2) acres. Based on the property's acreage of 12.53 acres, six (6) lots could be permitted; however, the applicant does not desire to create a major subdivision which cannot be served by a private road. The applicant proposes a maximum of four (4) lots plus one open space parcel for a total of five (5) lots which does not classify as a major subdivision. The property does not contain any flood plain or slopes greater than 20% that would need to be taken into consideration for the yield plan. While the sketch plan does show an existing stream on the property, minor subdivisions are not required to reserve riparian protection areas.

#### Rural Cluster Sketch Plan Analysis (Attachment C):

Staff review of the sketch plan confirms that the gross density of the development does not exceed one dwelling unit per 2 acres as required by the A-1 zoning district [Sec. 22-4-10.3.1]. The applicant proposes dwellings on four (4) residential lots plus one dwelling in open space, for a total of five (5) dwelling units and a gross density of 0.4 dwelling units per acre. (*Section 22-4-10.3.4(a) permits the construction of a single-family residence on an open space parcel provided that such residence is included in the calculation of maximum gross density permitted for the cluster option development*). A total of 9.43 acres is proposed to be retained in open space, which equates to 75% and meets the minimum  $\frac{3}{4}$  of the area of the development required [Sec. 22-4-10.3.3].

The subject parcel(s) adjoin lots in Lake Monticello to the east, south and west. The applicant has concentrated the open space against most of these lots which should help limit any potential adverse impacts.

#### Technical Review Committee:

The following comments were generated from the February 14, 2019 Technical Review Committee meeting:

1. Planning staff had questions and concerns about the project being submitted as two separate rural cluster subdivisions under one sketch plan. The proposal appears to be a major subdivision. Staff suggested revising the sketch plan to show each cluster on separate sheets. Additional discussion will be needed with the zoning administrator about a minor rural cluster subdivision.
2. Building Inspections did not have any comments.
3. Chamber of Commerce did not have any comments.
4. Department of Forestry did not have any comments.

5. Erosion and Sediment Control did not have any comments.
6. Fire Chief had questions regarding the width of the main entrance and the 3' area shown in the private street cross section. He stated it would be preferred that cul-de-sacs not have a median or grassy center as currently shown on Sheet C5, and would like to see at least two new street names for the roads.
7. Health Dept. has not provided any comments at the date of this letter.
8. Sheriff's Office did not have any comments.
9. VDOT stated the subdivision entrance from Lake Monticello Road would need to be paved and that they would need to double check sight distances.

In response to the comments from the Fire Chief, the applicant removed medians from the cul-de-sacs.

(Attachment D)

**Conclusion:**

It appears that the proposed subdivision has met the requirements of the Fluvanna County Subdivision and Zoning Ordinances. The density and open space requirements of Rural Cluster Subdivisions in the A-1 zoning district have been met. According to the submitted sketch plan, the proposed development does not exceed the maximum allowable density of one dwelling unit per two acres, and the required 75% of open space has been provided.

**Recommended Conditions:**

If approved, staff recommends the following general conditions:

1. The rural cluster subdivision will contain no more than four (4) separate residential lots plus one open space lot, as shown on the submitted sketch plan;
2. Prior to final plat approval, meeting VDOT requirements;
3. Prior to final plat approval, meeting all Health Department requirements;
4. Preliminary and final subdivision plat review and approval.

**Suggested Motion:**

I move that the Planning Commission approve SUB 18:25, a request for four (4) residential lots plus open space, with respect to 12.53 acres of Tax Map 9, Section A, Parcels 11, 11B, 11F and 11G, subject to the four (4) conditions listed in the staff report.

**Attachments:**

- A – Application
- B – Aerial Vicinity Map
- C – Proposed Cluster Sketch Plan and Yield Plan
- D – TRC Comment Letter

Copy:

Applicant/Owner: Rivanna Investments LLC and Steger Investments LLC  
977 Seminole Trail #275, Charlottesville, VA 22911

Representative: Shimp Engineering P.C. via email – [jshimp@shimp-engineering.com](mailto:jshimp@shimp-engineering.com)  
File



# COMMONWEALTH OF VIRGINIA COUNTY OF FLUVANNA Subdivision Application

**Owner of Record:** Rivanna Investments LLC and Steger Investments LLC **Applicant of Record:** Same as Owner of Record

E911 Address: 463 Link Evans Lane Earlysville, VA 22936 E911 Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: \_\_\_\_\_ Email: \_\_\_\_\_

**Tax Map and Parcel(s):** TM 9-A Parcels 11, 11B, 11F, and 11G

**Acreage:** 30.47 **Zoning:** A-1 **Number of Lots:** 4

**Surveyor:** None (Fluvanna County GIS and plats of record)

**Subdivision Name:** Minor Subdivision of TM 9-A Parcel 11F

E911 Address of Parcel: 2220 Lake Monticello Road Palmyra VA 22963

**Description of Property:** Existing houses (2) and vacant parcels

**Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.**

Is property in Agricultural Forestal District? ☒ No ☐ Yes

If Yes, what district: \_\_\_\_\_

**Deed Book Reference:** DB 868 PG 684 and DB 868 PG 693

Deed Restrictions? ☒ No ☐ Yes (Attach copy)

Please check appropriate box:

Received  
JUL 6 2 2018  
Fluvanna County

Type	Forms Required
<input checked="" type="checkbox"/> Minor - 2-5 Lots	Sketch Plan Checklist Preliminary Subdivision Checklist Final Subdivision Checklist
<input type="checkbox"/> Major - 6+ Lots	Sketch Plan Checklist Preliminary Subdivision Checklist Final Subdivision Checklist

I declare that the statements made and information given on this application are true, full and correct to the best of my knowledge and belief. I agree to conform fully to all terms of any certificate or permit which may be issued on account of this application.

Justin Shimp (for Applicant)

Applicant Name (Please Print)

Applicant Signature

All plats must be folded prior to submission to the Planning Department for review. Rolled plats will not be accepted.

## OFFICE USE ONLY

Date Received: 7/2/18	Fee Paid: 750.00	Application #: SUB 18 : 023
Election District: Palmyra	Planning Area: Rivanna CFA	Number of Lots:
<b>Minor (2-5 Lots)</b>	<b>Major (6 or more Lots)</b>	
\$ 500.00 + GIS Fee	\$1,000.00 + GIS Fee	Approval/Denial Date:
Resubmission of Preliminary or Final Plat: \$100.00		Approval/Denial Date:
GIS Fee: 250.00 \$ 50.00 per lot (residue is considered a lot) 5 lots x 50 = 250		
<b>Additional Fees Due at Time of Review</b>		
Road Maintenance Agreement Review:	\$200.00	Revisions: \$50.00
Dedication Common Lands Document Review:	\$200.00	Revisions: \$50.00
Homeowner Association Document Review:	\$200.00	Revisions: \$50.00
Health Department Subdivision Review:	\$250.00 + \$25.00 per lot	Existing System Review \$50.00
Street Sign Installation:	\$200.00 Per Intersection	



February 1, 2019

Mr. Brad Robinson, Senior Planner  
Department of Planning & Community Development  
Fluvanna County, Virginia

**Regarding: SUB 18:25 Rivanna Investments & Steger Investments  
Sketch Plan Revisions**

Dear Mr. Robinson,

Thank you for your comments, sent via email on October 25, 2018. Based on your comment regarding the requirement for a Yield Plan and Planning Commission review (Section 19-4-5 of the Subdivision Ordinance), we are resubmitting this application in the following format:

- Sheet C1 is a summary / cover sheet describing the process to create 12 parcels from the existing 4 parcels and also provides area summaries of the rural cluster lots shown in the sketch plan on Sheet C5.
- Sheet C2 provides the existing four parcels with boundaries, topography and existing conditions.
- Sheet C3 shows a proposed boundary line adjustment for the four parcels that will allow 2 minor rural cluster developments of proposed parcels 9-A-11 and 9-A-11F.
- Sheet C4 shows a Yield Plan of development, as required rural cluster development, for the proposed parcels 9-A-11 and 9-A-11F, and
- Sheet C5 shows a Sketch Plan of development for the two rural cluster developments (parcels 9-A-11 and 9-A-11F).

The result of this proposal is the creation of ten (10) new parcels from parent parcels 9-A-11 and 9-A-11F, and the reconfiguration of boundary lines for parcels 9-A-11B and 9-A-11G. We spoke with Holly from your office this morning and she has asked us to include 10 full-size copies of the plan (attached herein) for your review.

Please feel free to contact us with any questions or comments.

Sincerely,

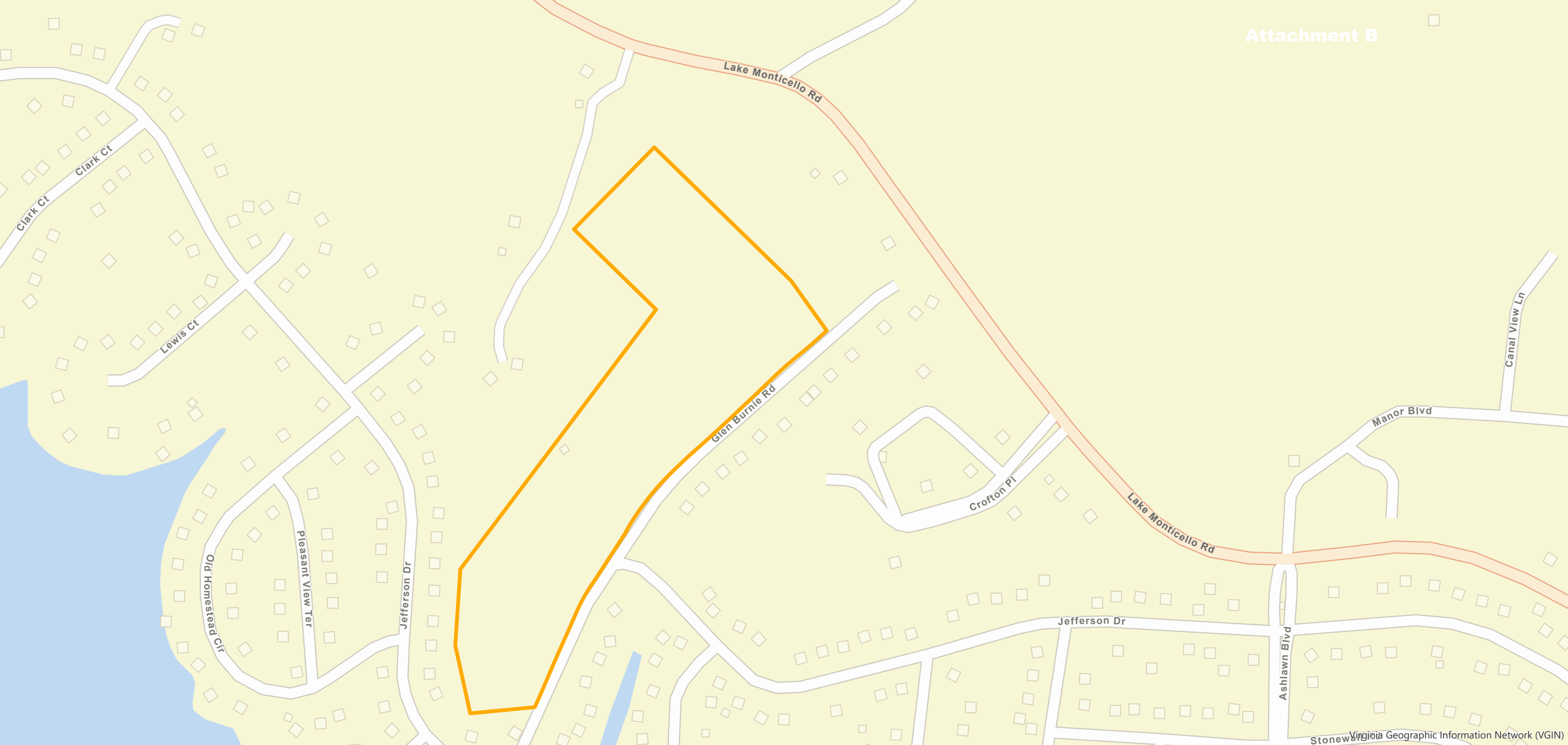
*J. Kelly Strickland*

Kelly Strickland  
Shimp Engineering PC  
(434) 981.6029

Received

FEB 01 2019

Fluvanna County



SKETCH PLAN FOR  
BOUNDARY ADJUSTMENT & MINOR SUBDIVISION  
TAX MAP 9 Section A PARCEL 11, 11B, 11F and 11G  
PALMYRA MAGISTERIAL DISTRICT, FLUVANA COUNTY, VIRGINIA

SHIMP ENGINEERING, P.C.  
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT  
PHONE: (434) 207-4086  
915 E HIGH ST  
CHARLOTTESVILLE, VA 22902  
JUSTIN@SHIMP-ENGINEERING.COM



VICINITY MAP SCALE: 1"=1,000'



IMAGE PROVIDED BY GOOGLE MAPS



PROPERTY INFORMATION

OWNER: RIVANNA INVESTMENTS LLC (PARCELS 11B, 11F AND 11G)  
STEGEER INVESTMENTS LLC (PARCEL 11)  
ADDRESS: 463 LINK EVANS LANE  
EARLYSVILLE, VA 22936  
LEGAL REFERENCE: DB 868 PG 684 (PARCELS 11B, 11F AND 11G)  
DB 868 PG 693 (PARCEL 11)  
DEVELOPER: SAME AS OWNER

PARCEL AREA SUMMARY

PARCEL 9-11	18.45	AC.
PARCEL 9-11B	4.02	AC.
PARCEL 9-11F	2.00	AC.
PARCEL 9-11G	6.00	AC.
TOTAL PARCEL AREA	30.47	AC.

BASE INFORMATION

SOURCE OF BOUNDARY SURVEY: PLATS OF RECORD, COMMONWEALTH  
SOURCE OF TOPOGRAPHY: FLUVANA COUNTY GIS DATA FILES  
4 FT (CTI)  
BENCHMARK(S): NAVD88  
WATER SOURCE: INDIVIDUAL WELLS  
SEWER SERVICE: INDIVIDUAL SEPTIC  
THIS PROPERTY IS ZONED: A1 - AGRICULTURAL

PROPOSAL: BOUNDARY LINE ADJUSTMENT (SEE SHEET C3) - ALL FOUR PARCELS  
A-1 RURAL CLUSTER MINOR SUBDIVISION - REVISED PARCEL 9-A-11

GROSS DENSITY PERMITTED	= 0.5 DUA
MINIMUM LOT SIZE PERMITTED (PARCELS 11B, 11F AND 11G)	= 2.0 ACRES
MINIMUM LOT SIZE (CLUSTER SUBDIVISION OF PARCEL 11)	= NONE
MINIMUM OPEN SPACE PARCEL REQUIRED (PARCEL 11 CLUSTER)	= 75 %
MINIMUM FRONTAGE (RURAL CLUSTER LOTS FROM PARCEL 11)	= 60 FT
MINIMUM BUILDING SETBACKS FOR RURAL CLUSTER:	
FRONT	= 25 FT
SIDE	= 10 FT
REAR	= 25 FT
MAXIMUM STRUCTURE HEIGHT	= 35 FT

AREA SUMMARY

AREA OF DEVELOPMENT	30.47	AC
REVISED PARCEL 9-A-11B	2.53	AC
REVISED PARCEL 9-A-11F	13.35	AC
REVISED PARCEL 9-A-11G	2.06	AC
TOTAL OUT-PARCEL AREA	17.94	AC
DEVELOPMENT PARCEL 11 LOT 1	0.91	AC
DEVELOPMENT PARCEL 11 LOT 2	0.80	AC
DEVELOPMENT PARCEL 11 LOT 3	0.73	AC
DEVELOPMENT PARCEL 11 LOT 4	0.66	AC
OPEN SPACE PARCEL 11 LOT 5	9.43	AC (75%)
TOTAL PARCEL 11 DEVELOPMENT AREA	12.53	AC

ROAD DESIGN

A PRIVATE ROAD IS PROPOSED TO SERVE EACH  
CLUSTER SUBDIVISION. DETAIL #1 (THIS SHEET)  
PROVIDES A SECTION FOR THE PRIVATE ROAD DESIGN.

UTILITIES

ELECTRICITY SHALL BE PROVIDED BY CENTRAL  
VIRGINIA ELECTRIC COOP.

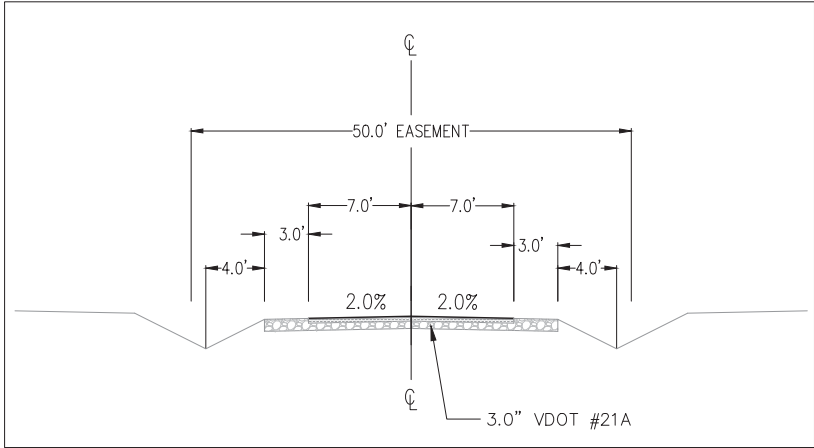
THE PROPOSED SUBDIVISION WILL UTILIZE PRIVATE  
WELLS AND SEPTIC FIELDS.

EXISTING HOMES

THE EXISTING HOUSES ON PARCELS 11 B AND 11G  
SHALL REMAIN.

SHEET INDEX

- C1 - COVER SHEET
- C2 - EXISTING CONDITIONS
- C3 - BOUNDARY LINE ADJUSTMENT
- C4 - A-1 YIELD PLAN OF DEVELOPMENT
- C5 - A-1 CLUSTER PLAN OF DEVELOPMENT



1 TYP. CROSS SECTION FOR PRIVATE STREET  
C1 1"=10'

COVER PAGE

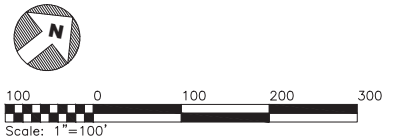
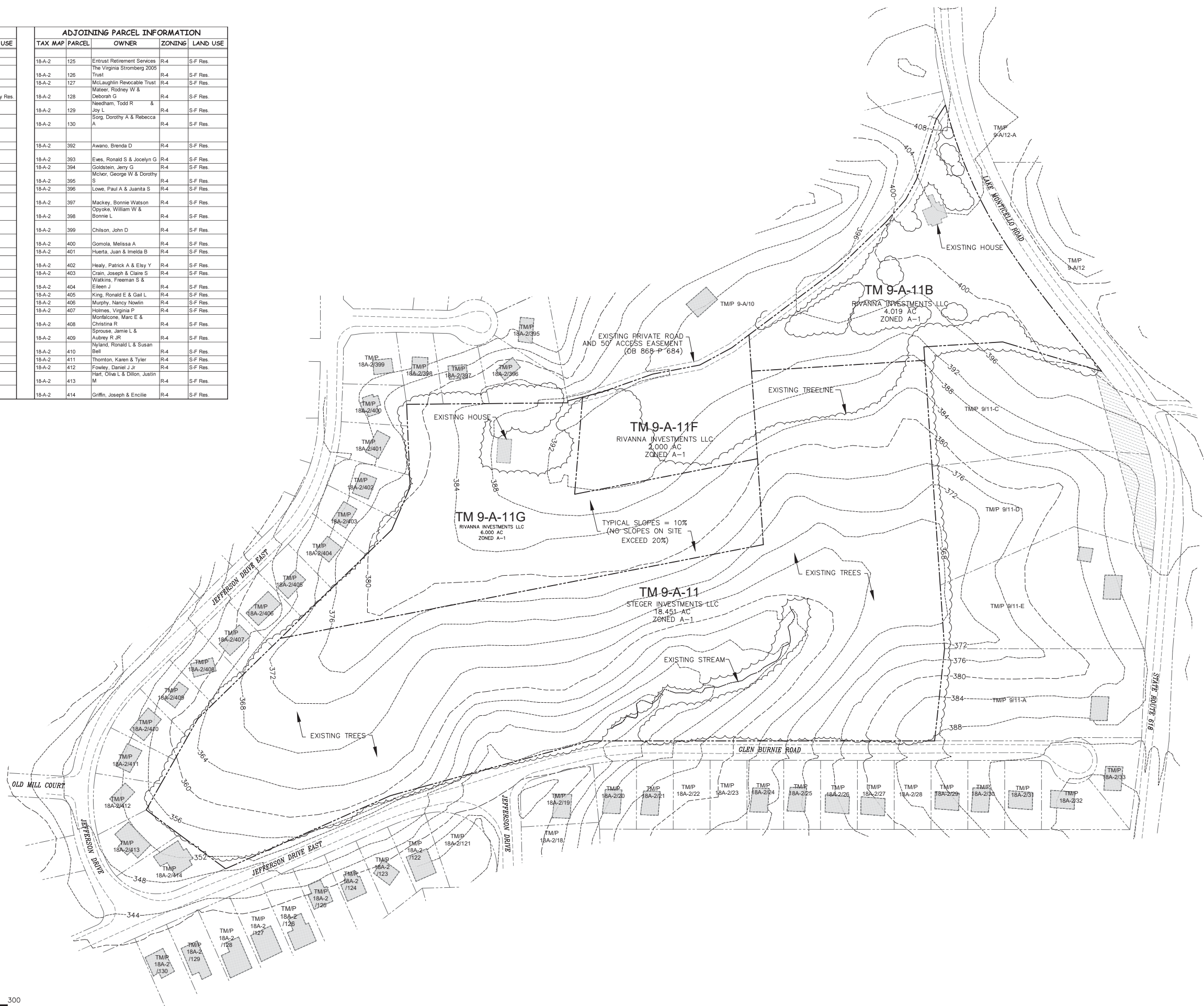
Rev #	Date	Description
1	09/12/2018	Revised as Rural Cluster Division
2	02/07/2019	Revised as 2 Rural Cluster Divisions
3	02/07/2019	Revised as 1 Rural Cluster Plan

SKETCH PLAN

STEGEER INVESTMENTS  
FLUVANA COUNTY, VIRGINIA

Date	07/02/2018
Scale	N/A
Sheet No.	C1 OF 5
File No.	14.012

ADJOINING PARCEL INFORMATION					ADJOINING PARCEL INFORMATION				
TAX MAP	PARCEL	OWNER	ZONING	LAND USE	TAX MAP	PARCEL	OWNER	ZONING	LAND USE
9-A	10	Ringwood, Susan & Albert	A-1	S-F Res.	18-A-2	125	Entrust Retirement Services The Virginia Stromberg 2005 Trust	R-4	S-F Res.
9-A	11-A	Hoffman, Timothy J	A-1	S-F Res.	18-A-2	126	Trust	R-4	S-F Res.
9-A	11-C	Herring, Phoebe R. & Lary	A-1	Vacant	18-A-2	127	McLaughlin Revocable Trust	R-4	S-F Res.
9-A	11-D	Roberts, Gregory W.		Accessory Res.	18-A-2	128	Walter, Rodney W & Deborah G	R-4	S-F Res.
9-A	11-E	Roberts, Gregory W. & Maria Anne		S-F Res.	18-A-2	129	Needham, Todd R & Joy L	R-4	S-F Res.
9-A	12	Sycamore Square, LLC	A-1	Vacant	18-A-2	130	Sorg, Dorothy A & Rebecca A	R-4	S-F Res.
9-A	12-A	Christian & Assoc. Excavating, Inc.	A-1	Vacant	18-A-2	392	Awano, Brenda D	R-4	S-F Res.
18-A-2	18	Reilly, Thomas J. & Margaret D.	R-4	S-F Res.	18-A-2	393	Eves, Ronald S & Jocelyn G	R-4	S-F Res.
18-A-2	19	Taylor, James L.	R-4	S-F Res.	18-A-2	394	Goldstein, Jerry G	R-4	S-F Res.
18-A-2	20	DeGraff, Holly Cason	R-4	S-F Res.	18-A-2	395	McIvor, George W & Dorothy S	R-4	S-F Res.
18-A-2	21	Dixon, Kimberly M	R-4	S-F Res.	18-A-2	396	Lowe, Paul A & Juanita S	R-4	S-F Res.
18-A-2	22	Webber, Gerard G & Debra A	R-4	S-F Res.	18-A-2	397	Mackey, Bonnie Watson	R-4	S-F Res.
18-A-2	23	Kellogg, Vivian	R-4	S-F Res.	18-A-2	398	Opyoke, William W & Bonnie L	R-4	S-F Res.
18-A-2	24	Wright, William W JR & Catherine H	R-4	S-F Res.	18-A-2	399	Chilson, John D	R-4	S-F Res.
18-A-2	25	Pond, Vickie Vasiliki	R-4	S-F Res.	18-A-2	400	Gomola, Melissa A	R-4	S-F Res.
18-A-2	26	Guskind, Jordan R & Joshua L	R-4	S-F Res.	18-A-2	401	Huerta, Juan & Imelda B	R-4	S-F Res.
18-A-2	27	Owens, Chris D	R-4	S-F Res.	18-A-2	402	Healy, Patrick A & Eley Y	R-4	S-F Res.
18-A-2	28	Stewart, Melanie	R-4	S-F Res.	18-A-2	403	Crain, Joseph & Claire S	R-4	S-F Res.
18-A-2	29	Stewart, Melanie	R-4	S-F Res.	18-A-2	404	Watkins, Freeman S & Eileen J	R-4	S-F Res.
18-A-2	30	Summers, Christopher S	R-4	S-F Res.	18-A-2	405	King, Ronald E & Gail L	R-4	S-F Res.
18-A-2	31	Meyer, Betty J	R-4	S-F Res.	18-A-2	406	Murphy, Nancy Nowlin	R-4	S-F Res.
18-A-2	32	Ford, Gabriele	R-4	S-F Res.	18-A-2	407	Holmes, Virginia P	R-4	S-F Res.
18-A-2	33	Rock, Kerry J	R-4	S-F Res.	18-A-2	408	Monticone, Marc E & Christina R	R-4	S-F Res.
18-A-2	120	Holmes, Clarence L	R-4	Vacant	18-A-2	409	Sprouse, Jamie L & Aubrey R JR	R-4	S-F Res.
18-A-2	121	Brown Family Trust	R-4	S-F Res.	18-A-2	410	Nylund, Ronald L & Susan Ball	R-4	S-F Res.
18-A-2	122	Jones, David & Jennifer P	R-4	S-F Res.	18-A-2	411	Thornton, Karen & Tyler	R-4	S-F Res.
18-A-2	123	Scamporrì, Richard & Carol E	R-4	S-F Res.	18-A-2	412	Fowley, Daniel J Jr	R-4	S-F Res.
18-A-2	124		R-4	S-F Res.	18-A-2	413	Hart, Olivia L & Dillon, Justin M	R-4	S-F Res.
			R-4	S-F Res.	18-A-2	414	Griffin, Joseph & Encille	R-4	S-F Res.



**SHIMP ENGINEERING, P.C.**  
ENGINEERING - LAND PLANNING - PROJECT MANAGEMENT  
912 E. HIGH ST.  
CHARLOTTESVILLE, VA 22902  
PHONE: (434) 207-8086  
JUSTIN@SHIMP-ENGINEERING.COM

EXISTING CONDITIONS				
Rev #	Date	Description	Revised as	Revised by
1	09/07/2018	Initial Design	Initial Design	Justin Shimp
2	02/07/2019	Revised as per comments	Revised as per comments	Justin Shimp
3	05/07/2019	Revised as per 1 Minor Rural Outer Plan	Revised as per 1 Minor Rural Outer Plan	Justin Shimp

SKETCH PLAN FOR:	Date
<b>STEGER INVESTMENTS</b>	07/02/2018
FLUVANA COUNTY, VIRGINIA	Scale
	1"=100'
	Sheet No.
	C2 OF 5
	File No.
	14.012



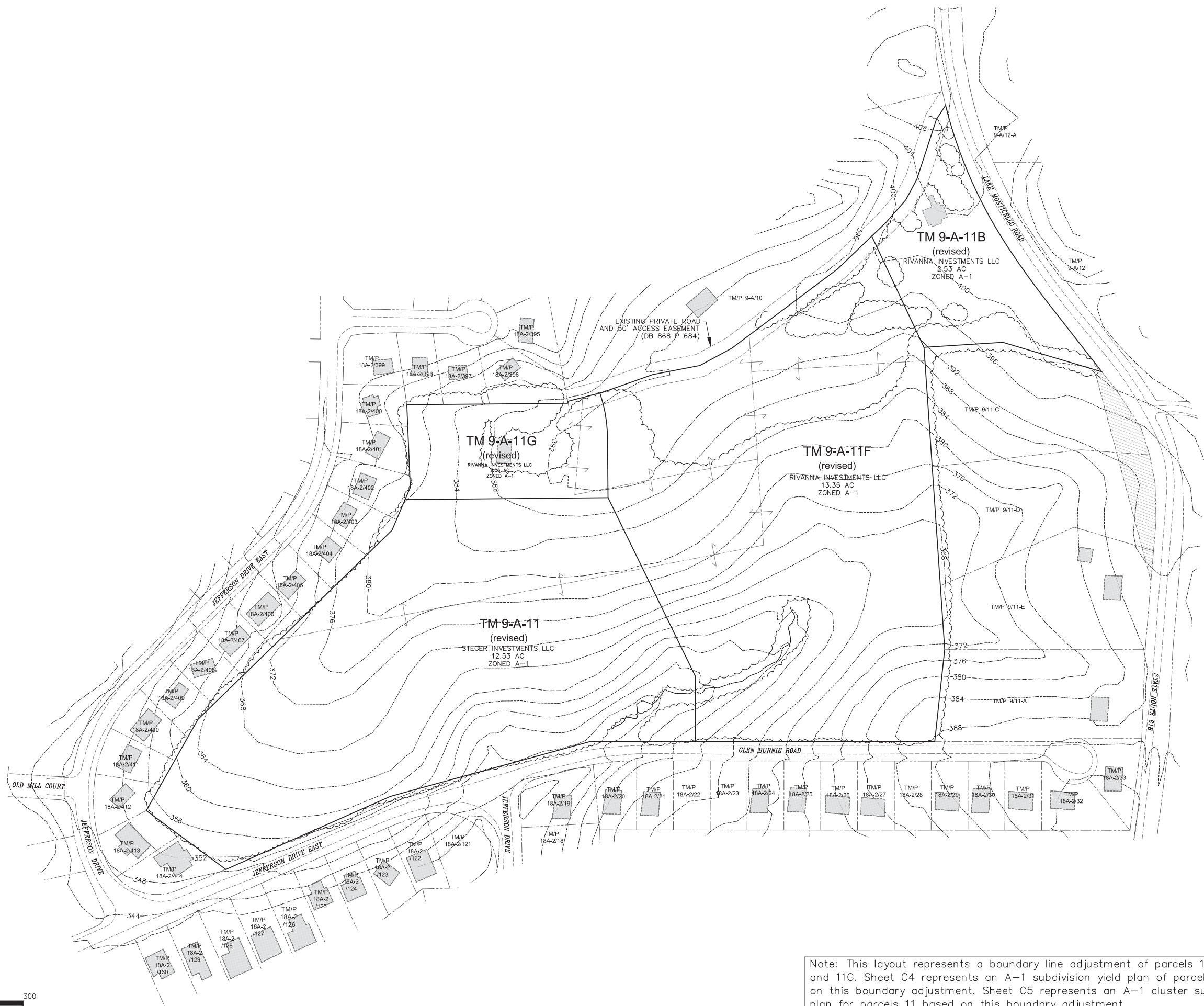
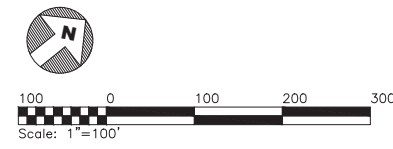
BOUNDARY LINE  
ADJUSTMENT PLAN

Rev #	Date	Description
1	09/18/2018	Revised as Rural Cluster Division
2	07/02/2019	Revised as Rural Cluster Division
3	05/01/2019	Revised as T Minor Rural Cluster Plan

SKETCH PLAN FOR:

STEGER INVESTMENTS  
FLUVANA COUNTY, VIRGINIA

Date	07/02/2018
Scale	1"=100'
Sheet No.	C3 OF 5
File No.	14.012



Note: This layout represents a boundary line adjustment of parcels 11, 11B, 11F and 11G. Sheet C4 represents an A-1 subdivision yield plan of parcel 11 based on this boundary adjustment. Sheet C5 represents an A-1 cluster subdivision plan for parcels 11 based on this boundary adjustment.

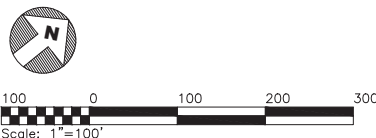


A-1 YIELD PLAN

Rev #	Date	Description
1	08/07/2018	Revised as Rural Cluster Division
2	07/07/2019	Revised as Rural Cluster Division
3	05/01/2019	Revised as Minor Rural Cluster Plan

SKETCH PLAN FOR:  
**STEEGER INVESTMENTS**  
FLUVANA COUNTY, VIRGINIA

Date	07/02/2018
Scale	1"=100'
Sheet No.	C4 OF 5
File No.	14.012



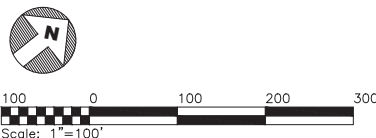
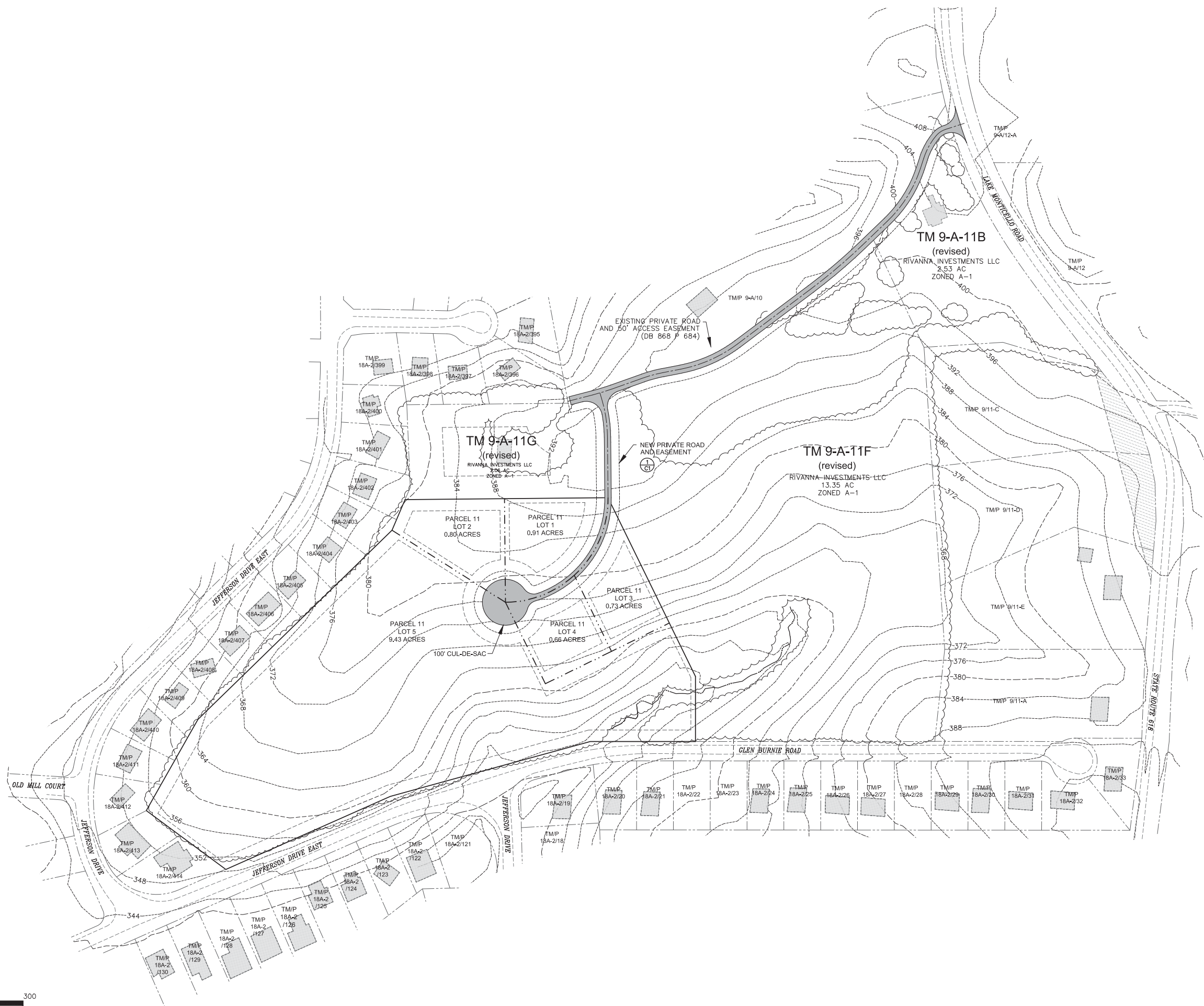


A-1 CLUSTER PLAN

Rev #	Date	Description
1	09/01/2018	Revised as Rural Cluster Division
2	07/02/2019	Revised as Minor Rural Cluster Division
3	05/01/2019	Revised as Minor Rural Cluster Plan

SKETCH PLAN FOR:  
**STEEGER INVESTMENTS**  
FLUVANA COUNTY, VIRGINIA

Date	07/02/2018
Scale	1"=100'
Sheet No.	C5 OF 5
File No.	14.012





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## COUNTY OF FLUVANNA

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*"Responsive & Responsible Government"*

132 Main Street  
P.O. Box 540  
Palmyra, VA 22963  
(434) 591-1910  
Fax (434) 591-1911  
[www.fluvannacounty.org](http://www.fluvannacounty.org)

February 15, 2019

Justin Shimp, P.E.  
Shimp Engineering  
201 E. Main Street  
Charlottesville, VA 22902

Delivered via email to [justin@shimp-engineering.com](mailto:justin@shimp-engineering.com)

**Re: SUB 18:25 – Rivanna Investments & Steger Investments Rural Cluster**  
**Tax Map: 9, Section A, Parcels 11, 11B, 11F and 11G**

Dear Mr. Shimp:

The following comments are the result of the Technical Review Committee meeting that was held on Thursday, February 14, 2019:

1. Planning staff had questions and concerns about the project being submitted as two separate rural cluster subdivisions under one sketch plan. The proposal appears to be a major subdivision. Staff suggested revising the sketch plan to show each cluster on separate sheets. Additional discussion will be needed with the zoning administrator about a minor rural cluster subdivision.
2. Building Inspections did not have any comments.
3. Chamber of Commerce did not have any comments.
4. Department of Forestry did not have any comments.
5. Erosion and Sediment Control did not have any comments.
6. Fire Chief had questions regarding the width of the main entrance and the 3' area shown in the private street cross section. He stated it would be preferred that cul-de-sacs not have a median or grassy center as currently shown on Sheet C5, and would like to see at least two new street names for the roads.
7. Health Dept. has not provided any comments at the date of this letter.
8. Sheriff's Office did not have any comments.
9. VDOT stated the subdivision entrance from Lake Monticello Road would need to be paved and that they would need to double check sight distances.

The date of the Planning Commission will be determined. Your attendance will be required at this meeting.

If you have any questions or need additional information, please contact me at 434-591-1910.

Sincerely,

Brad Robinson  
Senior Planner  
Dept. of Planning & Zoning

cc: File