



FLUVANNA COUNTY PLANNING COMMISSION

REGULAR MEETING AGENDA

Carysbrook Performing Arts Center
8880 James Madison Hwy Fork Union, VA 23055

Tuesday, February 7, 2023

6:00 pm **Work Session**
7:00 pm Regular Meeting

TAB	AGENDA ITEM
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WORK SESSION

- | | |
|----|--|
| A. | Call to Order, Pledge of Allegiance and followed by a Moment of Silence |
| B. | Zion Crossroads Gateway Plan – Final Draft August 2022 and Gateway Design Guidelines discussion – Douglas Miles, AICP, CZA Community Development Director Please visit this website link for plan: https://tjpdcc.org/our-work/area-plans/zion-crossroads-gateway-plan/ or at www.tjpdcc.org for this plan. |
| C. | Adjournment |

REGULAR MEETING

1 – CALL TO ORDER, PLEDGE OF ALLEGIANCE AND FOLLOWED BY A MOMENT OF SILENCE

2 – DIRECTOR'S REPORT – Douglas Miles, AICP, CZA, Community Development Director

3 – PUBLIC COMMENTS #1 (5 minutes per speaker)

4 – MINUTES: Review and Approval of Draft Minutes from January 10, 2023

5 – PUBLIC HEARINGS: None

6 – PRESENTATIONS: None

7 – SITE DEVELOPMENT PLANS:

SDP 22:09 Village Oaks Commercial – A Site Development Plan (SDP) request for a 40,000 square foot professional office and retail center on 5.9 +/- acres of Tax Map 9 Section A Parcels 14 and 14C1. The request is located along the north line of Lake Monticello Road (SR 618) at Manor Boulevard. The parcels are zoned R-3, Residential Planned Community and are located in the Rivanna Community Planning Area and the Palmyra Election District.

SDP 22:10 Johnston & Co Self-Storage – A Site Development Plan (SDP) request for 1,000 square feet of office space and 55,550 square feet of storage building space on 6.4 +/- acres of Tax Map 17 Section 2 Parcel 2. The subject property is located on Route 53 north of Turkeysgag Trail and is adjacent to the UVA Community Credit Union in the Rivanna Community Planning Area and the Cunningham Election District.

8 – SUBDIVISIONS: None

9 – UNFINISHED BUSINESS: None

10 – NEW BUSINESS: None

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*For the Hearing-Impaired – Listening devices are available upon request. TTY access number is 711 to make arrangements.
For Persons with Disabilities – If you have special needs, please contact the County Administrator's Office at 434.591.1910.*

11 – PUBLIC COMMENTS #2 (5 minutes per speaker)

12 – ADJOURNMENT

Douglas Miles

Community Development Director

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PLEDGE OF ALLEGIANCE

I pledge allegiance to the flag
of the United States of America
and to the Republic for which it stands,
one nation, under God, indivisible,
with liberty and justice for all.

ORDER

1. It shall be the duty of the Chairman to maintain order and decorum at meetings. The Chairman shall speak to points of order in preference to all other members.
2. In maintaining decorum and propriety of conduct, the Chairman shall not be challenged and no debate shall be allowed until after the Chairman declares that order has been restored. In the event the Commission wishes to debate the matter of the disorder or the bringing of order; the regular business may be suspended by vote of the Commission to discuss the matter.
3. No member or citizen shall be allowed to use abusive language, excessive noise, or in any way incite persons to use such tactics. The Chairman shall be the judge of such breaches, however, the Commission may vote to overrule both.
4. When a person engages in such breaches, the Chairman shall order the person's removal from the building, or may order the person to stand silent, or may, if necessary, order the person removed from the County property.

PUBLIC HEARING RULES OF PROCEDURE

1. PURPOSE
 - The purpose of a public hearing is to receive testimony from the public on certain resolutions, ordinances or amendments prior to taking action.
 - A hearing is not a dialogue or debate. Its express purpose is to receive additional facts, comments and opinion on subject items.
2. SPEAKERS
 - Speakers should approach the lectern so they may be visible and audible to the Commission.
 - Each speaker should clearly state his/her name and address.
 - All comments should be directed to the Commission.
 - All questions should be directed to the Chairman. Members of the Commission are not expected to respond to questions, and response to questions shall be made at the Chairman's discretion.
 - Speakers are encouraged to contact staff regarding unresolved concerns or to receive additional information.
 - Speakers with questions are encouraged to call County staff prior to the public hearing.
 - Speakers should be brief and avoid repetition of previously presented comments.
3. ACTION
 - At the conclusion of the public hearing on each item, the Chairman will close the public hearing.
 - The Commission will proceed with its deliberation and will act on or formally postpone action on such item prior to proceeding to other agenda items.
 - Further public comment after the public hearing has been closed generally will not be permitted.

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**FLUVANNA COUNTY PLANNING COMMISSION
ORGANIZATIONAL MEETING MINUTES**

**Carysbrook Performing Arts Center
8880 James Madison Highway
Fork Union, VA 23055**

**Tuesday, January 10, 2023
Organizational Meeting 7:00 pm**

- MEMBERS PRESENT:**

Barry Bibb, Chairman
Bree Key
Howard Lagomarsino, Vice Chair
Ed Zimmer
- ABSENT:**

Mike Goad
Patricia Eager, Board of Supervisors Representative
- STAFF PRESENT:**

Fred Payne, County Attorney
Douglas Miles, Community Development Director
Jason Overstreet, Senior Planner
Valencia Porter-Henderson, Administrative Programs Specialist

- 1. CALL TO ORDER, THE PLEDGE OF ALLEGIANCE AND A MOMENT OF SILENCE:**

At 7:00 pm, Douglas Miles, Community Development Director, called the January 10, 2023 Organizational Meeting to Order, led in the Pledge of Allegiance and then he conducted a Moment of Silence.
- 2. 2023 ORGANIZATIONAL MEETING OF THE FLUVANNA COUNTY PLANNING COMMISSION**

Election of Chair – This action will elect a Chair to the Planning Commission for 2023. Mr. Douglas Miles, Community Development Director, he called for any nominations. Mr. Lagomarsino nominated Commissioner Bibb. **NOMINATION:** Commissioner Bibb

COMMISSIONER	NOMINATE	SECOND	AYE	NAY	ABSTAIN	ABSENT
Ed Zimmer, Columbia District		X	X			
Barry Bibb, Cunningham District			X			
Mike Goad, Fork Union District						X
Howard Lagomarsino, Palmyra District	X		X			
Bree-Key, Rivanna District			X			
4-0 Mr. Bibb for Chair						

Following the election of the 2023 Chair, Mr. Miles turned the meeting over to Chair Barry Bibb. Election of Vice-Chair – This action will elect a new Vice-Chair of the Planning Commission for 2023. Chair Bibb opened the floor for nominations for Vice-Chair. Mr. Zimmer nominated Commissioner Lagomarsino. **NOMINATION:** Commissioner Lagomarsino

COMMISSIONER	NOMINATE	SECOND	AYE	NAY	ABSTAIN	ABSENT
Ed Zimmer, Columbia District	X		X			
Barry Bibb, Cunningham District			X			
Mike Goad, Fork Union District						X
Howard Lagomarsino, Palmyra District			X			
Bree-Key, Rivanna District		X	X			
4-0 Mr. Lagomarsino for Vice Chair						

MOTION:	That the Fluvanna County Planning Commission adopt the 2023 Regular Meeting Calendar. The November meeting was moved to Wednesday the 8th due to Election Day as a County Holiday on November 7th.				
MEMBER:	Bibb	Goad	Key	Lagomarsino	Zimmer
ACTION:				Second	Motion
VOTE:	Aye	Absent	Aye	Aye	Aye
RESULT:	4-0 Approved the meeting Calendar				

MOTION:	That the Fluvanna County Planning Commission accept the Resolution entitled “Organizational Meeting of the Fluvanna County Planning Commission 2023.” It was accepted as an official, passed Resolution, with the one change of his name to Howard instead of Harold for Vice Chair Lagomarsino as shown in the resolution.				
MEMBER:	Bibb	Goad	Key	Lagomarsino	Zimmer
ACTION:			Second	Motion	
VOTE:	Aye	Absent	Aye	Aye	Aye
RESULT:	4-0 Approved the Resolution				

MOTION:	That the Planning Commission adopt their By-Laws and their Rules of Procedures for 2023, as presented, with the meeting location change.				
MEMBER:	Bibb	Goad	Key	Lagomarsino	Zimmer
ACTION:			Motion		Second
VOTE:	Aye	Absent	Aye	Aye	Aye
RESULT:	4-0 Approved the By-Laws and Rules of Procedures				

3. DIRECTOR’S REPORT – Douglas Miles, AICP, CZA, Community Development Director

Thursday, January 12th Technical Review Committee Meeting:

Village Oaks Commercial Building: 40,000 SF Professional offices, Retail stores and Restaurants building as proposed by Southern Development to complete the Village Oaks development and with the required landscaping with overflow parking spaces available.

Johnston Professional Office Building: New Johnston Office Building going in next to the UVA Community Credit Union Branch Building on Route 53 for a local, small business owner to operate his electrician’s business with future self-storage complex to be constructed behind it.

Fluvanna County 2040 Comp Plan Winter Schedule Dates:

Day	Date	Time	Regular meeting or Organizational meetings	Location
FRI	JAN 27th	9:00 AM	ZXR Advisory Group Design Guidelines Session	Morris Room
TUES	FEB 7th	6:00 PM	Planning Commission Comp Plan Work Session	Performing Arts Room
TUES	MAR 7th	6:00 PM	Planning Commission Comp Plan Work Session	Performing Arts Room
TUES	APR 11th	6:00 PM	Planning Commission Comp Plan Work Session	Performing Arts Room

4. PUBLIC COMMENTS #1

Chair Bibb opened up the Public Comments at 7:14 pm by giving each Public speaker a limit of five (5) minutes to speak and asked that they state their name and their address for the record. With no one else wishing to speak in person and online, Chair Bibb closed the first round of Public Comments at 7:15 pm.

5. MINUTES:

MOTION:	To approve the minutes of the Planning Commission of December 13, 2022, as presented.				
MEMBER:	Bibb	Goad	Key	Lagomarsino	Zimmer
ACTION:			Second	Motion	
VOTE:	Aye	Absent	Aye	Aye	Abstain
RESULT:	3-0-1 Approved				

6. PUBLIC HEARINGS:

SUP 22:04 S.B. Cox Inc. - A Special Use Permit request in the I-2, Industrial, General Zoning District to permit a solid waste material recovery facility with respect to 90 +/- acres of Tax Map 4 Section A Parcel 27A. The subject property is located generally south of Richmond Road (US 250) and at the terminus of Memory Lane (SR 698) in the Rural Residential Planning Area and the Palmyra Election District.

Mr. Miles provided a Staff presentation of the proposed materials recovery facility along with the recommended conditions that have been discussed and reviewed with the case applicant.

Staff Recommended Conditions:

1. The administrative site development plans will be in substantial conformance with the Preliminary Site Plan prepared by LaBella, dated October 14, 2022 and the Materials Recovery Facility Plan, prepared by LaBella, dated October 14, 2022; with both plans being subject to final engineering and revisions necessary to meet both the requirements of these Special Use Permit conditions and as otherwise required by law, such as VDEQ, VDH and VDOT requirements.
2. The applicant shall inspect and record Memory Lane prior to site construction and VDOT will need in writing that the applicant is responsible to repair all damages done to Memory Lane (SR 698) during site construction as well as having that as a part of their approved site development plans.
3. The applicant shall construct or bond for construction the site entrance(s) to the proposed facilities to meet VDOT entrance and intersection requirements prior to the issuance of a Zoning Permit. The applicant shall notify VDOT and Fluvanna County in writing prior to commencing any construction or logging activity on the Site.
4. A Traffic Management Plan for the materials recovery facility use shall be provided to VDOT and Fluvanna County for site development plan review and approval purposes.
5. A minimum one hundred (100) foot buffer shall be maintained along all property lines that adjoin agricultural, residential or business districts. Land clearing is not permitted within this buffer area, except for the removal of dead or diseased vegetation and/or maintenance purposes. The applicant shall meet the required Zoning Ordinance buffer and screening requirements by supplementing the existing screening materials to the reasonable satisfaction of the Zoning Administrator.
6. The applicant will only accept construction or demolition waste and other inert materials with the sole intent to be recycled and all other solid waste will be transported outside of Fluvanna County to an approved sanitary landfill location.
7. The applicant will operate the materials recovery facility Monday through Friday, from 6:00 am to 6:00 pm and on Saturday from 6:00 am to Noon; with no Sunday operations.
8. The applicant will be completely responsible for compliance with all County lighting and noise ordinance requirements, that are amended from time to time, and the materials recovery facility operations shall not be considered as construction, but operation sounds.
9. The site shall be maintained in a neat and orderly manner so that the visual appearance from the public right-of-way and adjacent properties is acceptable to County officials.
10. The Board of Supervisors, or its representative, reserves the right to inspect the property for compliance with these conditions at any time, upon reasonable notice.
11. Under Section 22-17-4 F (2) of the Fluvanna County Code, the Board of Supervisors has the authority to revoke a Special Use Permit if the property owner has substantially breached the conditions of the Special Use Permit.

Ann Neil Cosby, Attorney with Wire Gill, representing S.B. Cox Inc. provided a presentation on the current S.B. Cox Richmond operations and continued on as to how the proposed Fluvanna facility would operate in a similar fashion based upon the existing Central Virginia market area.

Chair Bibb opened up the Public Hearing at 7:55 pm by giving each Public Hearing speaker a limit

of five (5) minutes to speak and he asked that they state their name and address for the record.

David Gourley, 390 Buck Ridge Road: stated his major concern was about the creek that runs through his property and then how the applicant would connect to the water and sewer lines.

Thomas Payne, 345 Paynes Lane: stated that local farms are no longer farms unfortunately they have become Subdivisions and others are being rezoned for commercial and industrial land uses and he spoke in support of this Special Use Permit request to allow the proposed industrial use.

Katy Ward, 249 Buck Ridge Road: asked the Planning Commissioners to recommend Denial of this proposed request and to continue to listen to the affected property owners in this area.

Walker Ward, 249 Buck Ridge Road: stated that he had environmental concerns with the creek that is located between the subject property and the residents residing along Buck Ridge Road.

Carl Otto, 5102 Montebello Circle, Richmond: stated that he resides right near the S.B. Cox Inc. Richmond location and he has come in support of this use as they operate their current site in a very professional manner and he does not have any concerns with noise or truck traffic there.

Sarah Zambito, 394 Glen Circle: stated that the residents of Fox Glen were opposed to this new industrial use and that there are plenty of other I-2, Industrial by right uses that are available.

Joseph Ryan, 113 Glen Circle (online) stated that he was in opposition to the proposed land use and that there are too many trucks that will be placed onto Route 250 from this proposed use.

Elizabeth Vencill, Modesto, CA (online) owns 12.6 acres on Little Creek Road, Tax Map 5 Section 15 Parcel 2 she spoke about considering placing her property into a conservation easement that adjoins the subject parcel of Case ZMP 22:04 that was now scheduled for a Board of Supervisors Public Hearing on January 18th and she would speak at the Board of Supervisors Public Hearing.

Roberta Harlowe, 507 Edd Ridge Lane (online) stated she was opposed to the proposed use and that there are too many trucks that will be placed onto Route 250 from this proposed land use.

With no one else wishing to speak in person or online, Chair Bibb closed the Public Hearing at 8:35 pm. Then opened up the discussion with the Planning Commissioners on the SUP request.

After additional discussion by the Planning Commissioners, Chair Bibb asked for a Motion.

MOTION:	I move that the Planning Commission Recommend Approval of SUP 22:04 S.B. Cox Inc. a Special Use Permit request to permit a solid waste material recovery facility with respect to 90 +/- acres of Tax Map 4 Section A Parcel 27A in an I-2, General Industrial zoning district and subject to the eleven (11) case conditions found in the Staff Report.				
MEMBER:	Bibb	Goad	Key	Lagomarsino	Zimmer
ACTION:				Second	Motion
VOTE:	Aye	Absent	Aye	Aye	Aye
RESULT:	4-0 Recommended Approval with eleven conditions				

7. PRESENTATIONS:

2040 Fluvanna County DRAFT Comprehensive Plan – Douglas Miles, Community Development Director distributed the compiled Plan Outline Report that will be the main document to use during our 2023 Planning Commission Work Sessions on the draft comprehensive plan review.

8. SITE DEVELOPMENT PLANS:

None

9. SUBDIVISIONS:

None

9. UNFINISHED BUSINESS:

None

10. NEW BUSINESS:

Planning Commission member appointment to the Regional Housing Partnership: Chair Bibb appointed Ms. Key to the Regional Housing Partnership for 2023. Mr. Zimmer had stated that tonight would be his last Planning Commission meeting and he is resigning now due to outside obligations and looked forward to continuing his service on the Board of Zoning Appeals in 2023.

11. PUBLIC COMMENTS #2:

Chair Bibb opened up the Public Comments at 8:48 pm by giving each speaker a limit of five (5) minutes to speak and asked that they state their full name and property address for the record.

With no one else coming forward wishing to speak in person or online, Chair Bibb closed the Public Comments period at 8:49 pm.

12. ADJOURNMENT:

Chair Bibb adjourned the Planning Commission meeting on January 10, 2023 at 8:50pm.

Minutes recorded by Valencia Porter-Henderson, Administrative Programs Specialist.

Barry A. Bibb, Chair
Fluvanna County Planning Commission



COUNTY OF FLUVANNA

"Responsive & Responsible Government"

132 Main Street
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PLANNING COMMISSION STAFF REPORT

To: Fluvanna County Planning Commission
Case Number: SDP 22:09 Village Oaks Commercial
Tax Map: Tax Map 9 Section A Parcels 14 & 14C1

From: Douglas Miles, AICP, CZA
District: Palmyra Election District
Meeting Date: February 7, 2023

General Information:

This item is scheduled to be heard by the Planning Commission on Tuesday, February 7, 2023 at 7:00 pm in the Carysbrook Performing Arts Center.

Applicant:

Southern Development / Keith Lancaster

Requested Action:

SDP 22:09 Village Oaks Commercial – A Site Development Plan (SDP) request for a 40,000 square foot professional office and retail center on 5.9 +/- acres of Tax Map 9 Section A Parcels 14 and 14C1. The request is located along the north line of Lake Monticello Road (SR 618) at Manor Boulevard. The parcels are zoned R-3, Residential Planned Community and are located in the Rivanna Community Planning Area and the Palmyra Election District.

Existing Zoning:

R-3, Residential Planned Community with proffered conditions

Existing Land Use:

Vacant

Comprehensive Plan:

Rivanna Community Planning Area / residential, medical office, village commercial land uses, as described within the R-3 District.

Zoning History:

ZMP 04:02 Monticello Village (now Village Oaks) an A-1 to R-3 rezoning on 44 acres for a Residential Planned Community with proffered conditions. Proffered Condition 10 states: *The commercial component of the Master Plan shall not total more than 40,000 square feet of gross floor area and shall be composed entirely of community retail and service uses, such as medical offices, dental offices, markets, bookstores, dry cleaners, coffee shops, cafes, florists, etc.* The community commercial uses should serve Village Oaks and the surrounding community by offering up these services.

Sketch Plan Analysis:

The applicant's consultant has prepared a well-designed Sketch Plan to illustrate the required site design requirements contained within the Fluvanna County Zoning Ordinance and those conditions that are found in the 2005 R-3, Residential Planned Community (RPC) conditional rezoning case.

The R-3 district is intended to permit compact village-style residential development and associated institutional uses, community serving mixed uses, open spaces and creative design in accordance with the approved master plan. The scale of the housing and the commercial uses they should be appropriate to support the residential needs at a neighborhood scale in this case for Village Oaks.

The applicant's planner met with the Technical Review Committee (TRC) on January 12th and worked through the Zoning Ordinance requirements and proffered conditions with those being met since the VDOT required improvements have already been installed at the intersection of Lake Monticello Road (SR 618) and Manor Boulevard. He indicated that the main site access to the commercial site would use Village Oaks Boulevard with Park Drive serving as a service access road for deliveries and Manor Boulevard would serve as a secondary access and employee access.

The off-street parking calculations and site design was done based upon the retail shopping center count of 3.5 spaces per 1000 square feet of gross leasable space which would account for certain land uses such as medical offices, dental offices, markets, bookstores, dry cleaners, coffee shops, cafes, florists and other retail uses. The proffered buffers and screening shall be maintained along Lake Monticello Road (SR 618) along with the installation of a pedestrian trail and sidewalk area.

Conclusion:

The submitted Sketch Plan request meets the sketch plan requirements of Section 22-23-8.A of the Fluvanna County Zoning Ordinance. Prior to final approval, a site development plan that meets the requirements of Articles 23 through 26 of the Fluvanna County Zoning Ordinance must be submitted for administrative site development plan approval by the applicant's design consultant.

Recommended Conditions:

1. Meet all final site plan requirements which include, but are not limited to, providing off-street parking, site buffers and landscaping, and outdoor lighting;
2. Meet all required Erosion and Sedimentation Control regulations;
3. Meet all VDEQ, VDOT and/or VDH state requirements.

Suggested Motions:

I move to (Accept/defer) SDP 22:09, a Sketch Plan request to construct a 40,000 square foot or less office/retail center on 5.9 +/- acres of Tax Map 9 Section A Parcels 14 and 14C1, subject to the recommended conditions listed in the staff report.

Attachments:

Application and Sketch Plan



COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA
Site Development Application

RECEIVED

NOV 29 2022

Fluvanna County
Planning Dept

Owner of Record: Sycamore Sycamore LLC Applicant of Record: Southern Development
E911 Address: 142 S. Pantops Dr. E911 Address: 142 S. Pantops Dr.
Phone: 434-245-0894 Fax: — Phone: 434 245-0894 Fax: —
Email: klancaster@southern-development.com Email: klancaster@southern-development.com
Representative: Keith Lancaster Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.
E911 Address: 142 S. Pantops Dr. Is property in Agricultural Forestal District? ☒ No ☐ Yes
Phone: 434-245-0894 Fax: — If Yes, what district: —
Email: klancaster@southern-development.com
Tax Map and Parcel(s): 9-A-14C1, 9-A-14 Deed Book Reference: (14C1) DB-TM-66/14/923-622
Acreage: 5.9 Zoning: R-3 Deed Restrictions? ☐ No ☒ Yes (Attach copy)
Location: Village Oaks
Description of Property: Vacant
Proposed Structure: commercial - mixed use / office / R-3 Village Oaks uses
Dimensions of Building: 40,000 sq ft Lighting Standards on Site: ☐ No ☒ Yes
of Employees: 20 TBD # of Parking Spaces: 145
Noise Limitations: —

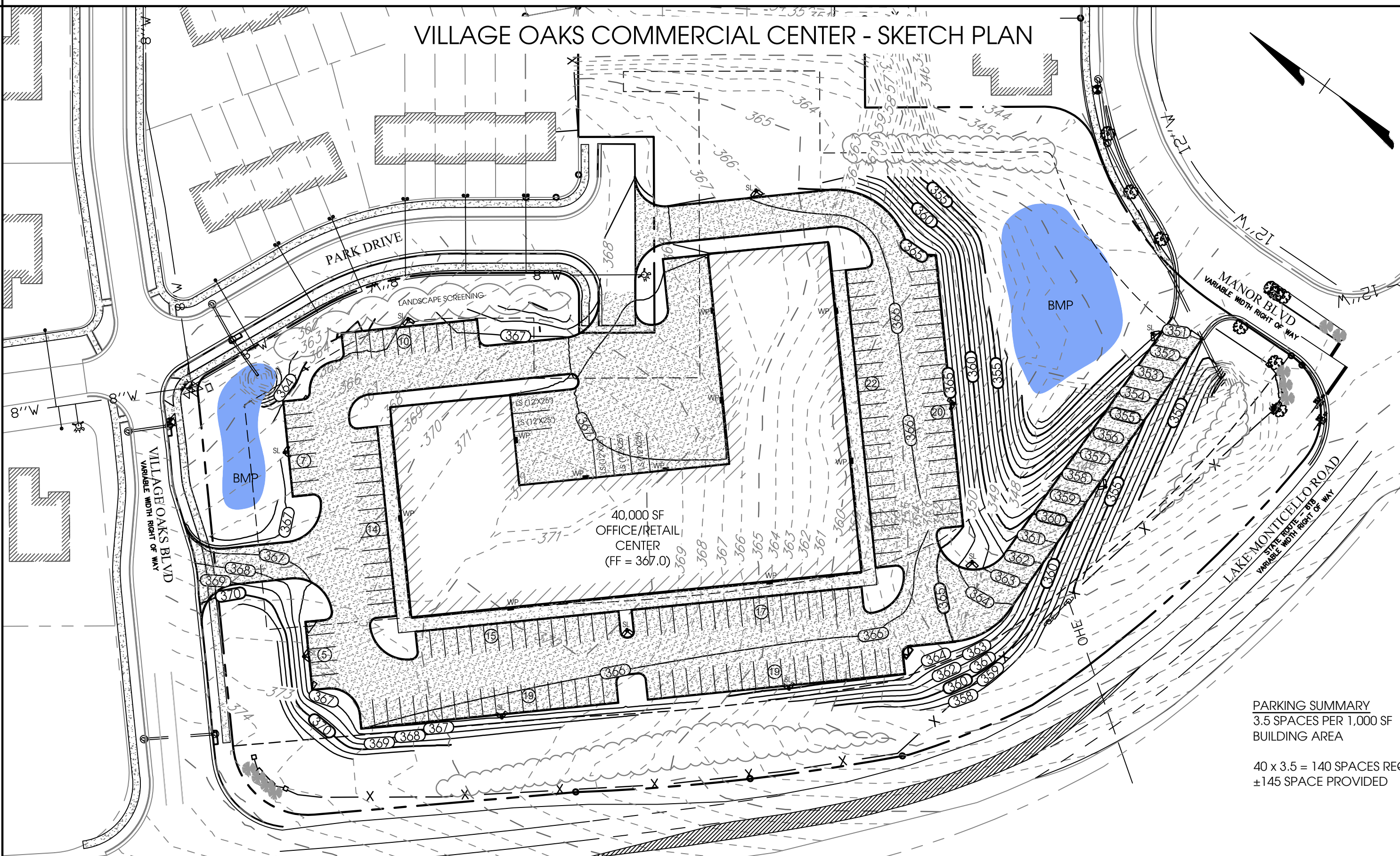
I declare that the statements made and information given on this application are true, full and correct to the best of my knowledge and belief. I agree to conform fully to all terms of any certificate or permit which may be issued on account of this application.

Keith Lancaster
Applicant Name (Please Print)

[Signature]
Applicant Signature and Date

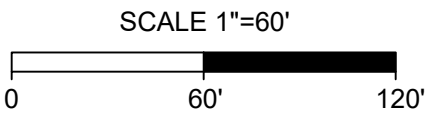
OFFICE USE ONLY		
Date Received: <u>11/28/2022</u>	Fee Paid: <u>check 1804</u>	Application #: <u>SDP 22-09</u>
Election District: <u>Palmyra</u>	Planning Area: <u>Rivanna Community</u>	Number of Lots: <u>2</u>
Total Fees Due at Time of Submittal		
Sketch Plan: <u>\$150.00</u>	Minor Plan: <u>\$550.00</u>	Major Plan: <u>\$1,100.00 check 1804</u>
Additional Fees Due at Time of Review		
Street Sign Installation:	\$200.00 Per Intersection	
Amendment of Plan	\$150.00	
Outdoor Lighting Plan Review*	\$50.00	
Landscape Plan Review*	\$50.00	
Tree Protection Plan Review*	\$50.00	
* If not part of a Site Plan Review		

VILLAGE OAKS COMMERCIAL CENTER - SKETCH PLAN



PARKING SUMMARY
3.5 SPACES PER 1,000 SF
BUILDING AREA

40 x 3.5 = 140 SPACES REQUIRED
±145 SPACE PROVIDED



SHEET TITLE:
SKETCH PLAN

PROJECT : VILLAGE OAKS
COMMERCIAL CENTER

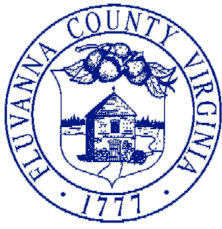
DATE:
11/28/2022

REVISION:
1

SCALE : AS SHOWN

SHEET NO.:

SK-1



COUNTY OF FLUVANNA

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PLANNING COMMISSION STAFF REPORT

To: Fluvanna County Planning Commission
Case: SDP 22:10 Johnston and Co Self-Storage
Tax Map: Tax Map 17 Section 2 Parcel 2

From: Douglas Miles, AICP, CZA
District: Cunningham Election District
Meeting Date: February 7, 2023

General Information: This item is scheduled to be heard on Tuesday, February 7, 2023 at 7:00 pm in the Carysbrook Performing Arts Center.

Owner/Applicant: Johnston & Co LLC / Cory Johnston

Representative: Shimp Engineering / Justin Shimp, PE

Requested Action: **SDP 22:10 Johnston & Co Self-Storage** – A Site Development Plan (SDP) request for 1,000 square feet of office space and 55,550 square feet of storage building space on 6.4 +/- acres of Tax Map 17 Section 2 Parcel 2. The subject property is located on Route 53 north of Turkeysag Trail and is adjacent to the UVA Community Credit Union in the Rivanna Community Planning Area and the Cunningham Election District.

Existing Zoning: B-1, General Business Zoning District with proffered conditions and a Special Use Permit for a contractor's storage yard.

Existing Land Use: Vacant

Sketch Plan Analysis:

The applicant owns an electrical contracting company and is seeking to establish a contractor's storage yard, to operate his electrical contracting business on-site with a proposed 1,000 square feet of office space for his business and potentially another office space tenant. The applicant plans to construct 55,550 square feet of self-storage space on the premises. The site design proposes the required landscaping along the Route 53 frontage and along the adjacent properties that are zoned R-4, Lake Monticello to the rear and A-1, General Agricultural to the north of the site to provide the required landscaped buffer area for this proposed, commercial land use. It also will include the additional sixty-four (64) feet of fencing and supplemental landscaping along the Gate Plaza LLC property that was a part of the Special Use Permit approved on August 17, 2022.

The applicant's design consultant has prepared a well-designed Sketch Plan to illustrate both the required site design requirements contained within the Fluvanna County Zoning Ordinance and those conditions that are found in the approved B-1, General Business conditional rezoning case.

Transportation Planning:

The applicant proposes a full access entrance onto Route 53 that has been reviewed by VDOT for the proposed B-1 land uses of self-storage facilities, an office building and then a specialty trade contractor under the ITE Trip Generation, 10th edition manual. The new vehicle trips generated by the applicant's proposed uses would not be a significant impact on a major corridor like Route 53 that experiences an average daily volume of 4900 trips. The proposed site is located adjacent to one of the existing commercial shopping centers on Turkey'sag Trail at the Falcon Hills gate into the Lake Monticello development at its intersection with Thomas Jefferson Parkway.

Comprehensive Plan:

Land Use Chapter:

The Comprehensive Plan designates the subject property in the Rivanna Community Planning Area which makes up approximately 40 percent of the county's population and mainly in the Lake Monticello community. The Rivanna Community Planning Area is the most developed area in the county and it contains a mixture of residential and commercial uses. Medium and small commercial uses, along with office, civic and residential uses all combine to form a series of neo-traditional developments that are all interconnected with surrounding commercial development.

Statement of Final Proffers:

The approved B-1 zoning will contain office uses for the applicant for his contracting business and or other office uses in the front of the self-storage complex. The applicant has proffered out higher B-1 land uses such as retail convenience stores and fast food restaurants. These land uses can be more obtrusive to surrounding residential uses and they can generate higher amounts of traffic beyond neighborhood land uses serving the surrounding neighborhoods or the community.

Proffered Condition 2 of ZMP 22:02 Johnston and Co LLC that was approved on June 15, 2022:

Architectural Detail: The front façade of any building fronting on State Route 53 must have a minimum of two material finishes, with each of the two required finishes being applied to no less than 20% of the façade and one required material finish being brick or stone cladding.

The applicant has submitted front façade building elevations that meets this proffered condition that will blend in well next door to the University of Virginia Community Credit Union building. The office building and parking area will contain attractive site landscaping and lighting designs.

Conclusion:

The submitted Sketch Plan request meets the sketch plan requirements of Section 22-23-8.A of the Fluvanna County Zoning Ordinance. Prior to final approval, a site development plan that meets the requirements of Articles 23 through 26 of the Fluvanna County Zoning Ordinance must be submitted for administrative site development plan approval by the applicant's design consultant. That has occurred and Fluvanna County, VDEQ and VDOT are reviewing the plans.

Recommended Conditions:

1. Meet all final site plan requirements which include, but are not limited to, providing off-street parking, site buffers and landscaping and outdoor lighting;
2. Meet all required Erosion and Sedimentation Control regulations;
3. Meet all VDEQ, VDOT and/or VDH state requirements.

Suggested Motion:

I move to (Accept/defer) SDP 22:10, a Sketch Plan request to construct 1,000 square feet of office space and 55,550 square feet of storage building space on 6.4 +/- acres of Tax Map 17 Section 2 Parcel 2, subject to the recommended conditions listed in the staff report.

Attachments:

Application and Sketch Plan

FLUVANNA COUNTY BOARD OF SUPERVISORS
ACTIONS TAKEN ON AUGUST 17, 2022

Mr. Sheridan entered the meeting at 7:04pm

No.	Item – Regular Meeting	<u>Action</u>
1	Adoption of agenda: as amended;	<u>BOARD ADOPTED</u> 4-0
2	VDOT Quarterly Update;	<u>BOARD PRESENTATION</u>
3	<p>ZMP 22:03 Wolfpack Properties LLC:</p> <p>approved ZMP 22:03, Wolfpack Properties LLC a request to conditionally rezone from A-1, General Agricultural to the B-1, General Business Zoning District of 35 +/- acres of Tax Map 9 Section A Parcels 11, 11B, 11C, 11D, 11F and 11G along with the proffers dated August 3, 2022</p> <ol style="list-style-type: none"> 1. CONCEPTUAL REZONING EXHIBIT: An Illustrative Exhibit is attached as: EXHIBIT A and it is conceptual in nature and is shown in consideration of rezoning request ZMP 22:03. The final site plan(s) shall provide for safe and convenient vehicular and pedestrian circulation between sites to be occupied by complementary uses. 2. SCREENING: The Property shall be screened from view in substantial accordance with the Illustrative Exhibit, submitted August 3, 2022 as prepared by Shimp Engineering, PC along with the requirements of Section 22-24-7 of the Fluvanna County Zoning Ordinance. The Developer will maintain a one hundred (100) foot vegetative buffer along the shared property boundaries and with adjacent properties fronting on Jefferson Drive, starting at the intersection of Glen Burnie Road and Jefferson Drive. 3. CONSTRUCTION ENTRANCE: The VDOT approved construction entrance(s) for the Property, including primary ingress and egress for any logging operations, shall be established from Route 618. The Developer shall notify VDOT and Fluvanna County prior to commencing any construction or logging activity. No construction entrance shall be permitted to connect to Jefferson Drive, or any road inside the gates of Lake Monticello. 4. EXCLUDED USES: <ul style="list-style-type: none"> • The following permitted by right land uses shall be excluded from the Property under B-1 Zoning Section 22-9-2.1: • <u>Commercial Uses</u>: Automobile sales, Boarding houses; Self-storage facilities; and Shooting ranges, indoor • The following uses permitted by special use permit only shall be excluded from the Property under B-1 Zoning Section 22-9-2.2: • <u>Commercial Uses</u>: Entertainment establishments, adult; Retail stores, adult; and Transportation terminals. • <u>Industrial Uses</u>: Lumberyards, Railroad facilities 	<p><u>BOARD APPROVED</u></p> <p>3-2</p> <p>(Fairchild, O'Brien)</p>

4	ZTA 22:01 Commercial Uses: excluded Vehicle Impound Facilities in A-1 Zoning, Section 22-4-2.2 from ZTA 22:01;	<u>BOARD ADOPTED</u> 4-1 (Booker)
5	<p>ZTA 22:01 Commercial Uses:</p> <p>adopted Ordinance ZTA 22:01 an Ordinance to amend Chapter 22 - Zoning of the Fluvanna County Code, pursuant to Fluvanna County Code Section 22-20-1(c), to:</p> <ul style="list-style-type: none"> - In Section 22-22-1, <ul style="list-style-type: none"> o Amend the definition of Agricultural Enterprise, with the correction noted in the staff report, and o Add definitions of Brewpub, Data Center, Emergency Center, Event Facility, Machinery Sales and Service, Microbrewery, and Vehicle Impound Facility; - In A-1 Zoning, Section 22-4-2.2, add Event Facilities, Machinery Sales and Service, and Microbreweries as commercial uses permitted by special use permit; - In R-3 Zoning, Section 22-7-9.1, add Brewpub as commercial uses permitted by Right; - In R-3 Zoning, Section 22-7-9.2, add Microbreweries as commercial uses permitted by special use permit; - In B-1 Zoning, Section 22-9-2.1, add Brewpub, Emergency Centers, Event Facilities, Machinery Sales and Service, and Microbreweries as commercial uses permitted by right; - In B-1 Zoning, Section 22-9-2.2, add Vehicle Impound Facilities as commercial uses permitted by special use permit; - In B-C Zoning, Section 22-10-3, add Brewpub as commercial uses permitted by right; - In B-C Zoning, Section 22-10-4, add Microbreweries as commercial uses permitted by special use permit; - In I-1 Zoning, Section 22-11-2.1, add Machinery Sales and Service and Vehicle Impound Facilities as commercial uses permitted by right; and add Data Centers as Industrial uses permitted by right - In I-2 Zoning, Sec. 22-12-2.1, add Machinery Sales and Service and Vehicle Impound Facilities as commercial uses permitted by right; and add Data Centers as Industrial uses permitted by right; 	<u>BOARD ADOPTED</u> 5-0
6	<p>Third Amendment to Structure Lease Agreement with New Cingular Wireless PCS, LLC:</p> <p>approved the “Third Amendment to Structure Lease Agreement” of County property, with New Cingular Wireless PCS, LLC for the purposes of allowing AT&T to install a generator and lease additional ground space therefore as described in the amendment, and further authorize the County Administrator to execute the agreement subject to approval as to form by the County Attorney;</p>	<u>BOARD APPROVED</u> 5-0
7	Career Development Certification Pay:	<u>BOARD APPROVED</u> 5-0

	<p>approved the implementation of the Compensation Board's Career Development Certification Pay Plan for the offices of the Clerk of Circuit Court, the Treasurer and Commissioner of the Revenue, and removing the qualification of the position needing to be Compensation Board funded. The revised plan establishes that each Master's certified constitutional officer and staff member receive a 9.3% salary certification pay, with the amount to be determined by the Compensation Board annually and based on the minimum salary set for the respective staff position by the Compensation Board's annual "Classification and Pay Plan for Support Personnel" for each respective office, with a total estimated FY23 additional personnel cost to the County of \$15,393;</p> <p>approved a budget transfer of \$15,393 from the BOS contingency, with \$9,825 for the Clerk of the Circuit Court's office and \$5,568 for the Commissioner of the Revenue's office to implement the revised Career Development Certification Pay Plan;</p>	<p><u>BOARD APPROVED</u> 5-0</p>
8	<p>Compression Pay Raise for Sheriff Deputies in Non Compensation Board Positions:</p> <p>approved the compression pay for the three non-Compensation Board funded Deputy positions that qualify for the \$100.00 for each year of consecutive service over three years, which totals \$1,100.00 each year, with funding to come from the FY23 Personnel Contingency;</p>	<p><u>BOARD APPROVED</u> 5-0</p>
9	Waiver to Administer an Existing Split Precinct;	<u>PULLED FROM AGENDA</u>
10	<p>Minutes of July 6, 2022: as presented;</p>	<p><u>BOARD ADOPTED</u> 5-0</p>
11	<p>Minutes of August 3, 2022: as presented;</p>	<u>PULLED FROM AGENDA</u>
12	<p>CRMF - Central Elementary Chillers:</p> <p>approved a Capital Reserve Maintenance Fund Request in the amount of \$10,560.00 for the purpose of purchasing 3 HVAC chiller fans for Central Elementary;</p>	<p><u>BOARD APPROVED</u> 5-0</p>
13	<p>CRMF - Public Safety Building 5 Ton Heat Pump Upgrade:</p> <p>approved a Capital Reserve Maintenance Fund Request in the amount of \$6,408.00 for the purpose of additional contracted work needed to complete Public Safety Building 5 ton heat pump upgrade to meet code and manufacturers specifications</p>	<p><u>BOARD APPROVED</u> 5-0</p>
14	<p>Motion to Extend:</p> <p>approved a motion to extend the August 17, 2022 Regular Board of Supervisors meeting to 12:00am;</p>	<p><u>BOARD APPROVED</u> 5-0</p>
15	<p>SUP 22:01 Johnston & Co LLC:</p> <p>approved SUP 22:01 Johnston & Co LLC a Special Use Permit request in the B-1, General Business Zoning District to permit a contractor's</p>	<p><u>BOARD APPROVED</u> 5-0</p>

	<p>storage yard with respect to 6.4 +/- acres of Tax Map 17 Section 2 Parcel 2 and subject to the eight (8) case conditions in the staff report</p> <ol style="list-style-type: none"> 1. The administrative site development plans shall be in substantial conformance with the Johnston & Co LLC Self-Storage Rezoning / Special Use Permit Concept Plan, prepared by Shimp Engineering and last revised on May 23, 2022; 2. Prior to development of the site, a site development plan that meets the requirements of the Fluvanna County Zoning Ordinance, it shall be submitted for administrative approval; 3. Any lighting shall not be directed toward the adjacent properties and it shall comply with Article 25 Outdoor Lighting Control of the Fluvanna County Zoning Ordinance; 4. Any noise shall comply with Chapter 15.1 of the Fluvanna County, Virginia Code as the same may be amended from time to time; 5. The site shall be maintained in a neat and orderly manner so that the visual appearance from the public right-of-way and adjacent properties is acceptable to County officials; 6. The Board of Supervisors, or its representative, reserves the right to inspect the property for compliance with these conditions at any time; 7. Under Section 22-17-4 F (2) of the Fluvanna County Code, the Board of Supervisors has the authority to revoke a Special Use Permit if the property owner has substantially breached the conditions of the Special Use Permit; 8. No outside storage of heavy equipment for earthwork operations affiliated with a contractor's storage yard will be permitted; this does not preclude storage of heavy equipment for earthwork operations during construction activities on the property; 9. Additional screening shall include fence panels that are 6ft tall along with evergreen plantings to provide not less than 64' of screening 	
16	<p>Motion to Extend:</p> <p>approved a motion to extend the August 17, 2022 Regular Board of Supervisors meeting to 1:00am;</p>	<p><u>BOARD APPROVED</u></p> <p>5-0</p>
17	<p>Closed Session:</p> <p>Litigation – Actual litigation in connection with the Zion Crossroads water and sewer project;</p>	<p><u>NO ACTION</u></p>

Board Directives:

Provide the FY22 non-profit budget sheets and presentations to the Board by the next meeting.



COMMONWEALTH OF VIRGINIA
COUNTY OF FLUVANNA
Site Development Application

RECEIVED

NOV 29 2022

Fluvanna County
Planning Dept

Owner of Record: Cory J. Johnston

Applicant of Record: Same as Owner

E911 Address: 498 Cunningham Meadows Drive

E911 Address:

Phone: 434-218-8707 Fax:

Phone: Fax:

Email: contactcoryjohnston@gmail.com

Email:

Representative: Shimp Engineering PC - Keane Rucker

E911 Address: 912 E High St. Charlottesville VA 22902

Phone: 434-227-5140 Fax:

Email: Keane@shimp-engineering.com

Note: If applicant is anyone other than the owner of record, written authorization by the owner designating the applicant as the authorized agent for all matters concerning the request shall be filed with this application.

Is property in Agricultural Forestal District? ☒ No ☐ Yes

If Yes, what district:

Tax Map and Parcel(s): TM 17-2-2

Deed Book Reference: Inst# 210003288

Acreage: 6.35 ac Zoning: B-1 Business

Deed Restrictions? ☒ No ☐ Yes (Attach copy)

Location: on the north side of Thomas Jefferson Pkwy (RS 53) and adjacent is Food lion Grocery Store

Description of Property: The site is concurrently a wooded Land.

Proposed Structure: 7 Buildings (1 office / self storage building and 6 self storage buildings)

Dimensions of Building: see site plan

Lighting Standards on Site: ☐ No ☒ Yes

of Employees: 3 # of Parking Spaces: Required 6 , Provided 10

Noise Limitations:

I declare that the statements made and information given on this application are true, full and correct to the best of my knowledge and belief. I agree to conform fully to all terms of any certificate or permit which may be issued on account of this application.

Applicant Name (Please Print)

Applicant Signature and Date

OFFICE USE ONLY

Date Received: 11/29/2022	Fee Paid: check 2218 \$1100.00	Application #: SDP 22: 10
Election District: Cunningham	Planning Area: Rivanna Community	Number of Lots:
Total Fees Due at Time of Submittal		
Sketch Plan: \$150.00	Minor Plan: \$550.00	Major Plan: \$1,100.00 check 2218
Additional Fees Due at Time of Review		
Street Sign Installation:	\$200.00 Per Intersection	
Amendment of Plan	\$150.00	
Outdoor Lighting Plan Review*	\$ 50.00	
Landscape Plan Review*	\$ 50.00	
Tree Protection Plan Review*	\$ 50.00	
* If not part of a Site Plan Review		



Board and Batten
Gable Siding

Hardie Plank Siding

Minimum 20% of
Facade Stone Cladding

MAJOR SITE DEVELOPMENT PLAN AND EROSION & SEDIMENT CONTROL PLAN

JOHNSTON & CO. SELF-STORAGE

TAX MAP 17, PARCEL 2-2
FLUVANNA COUNTY, VIRGINIA
SWM #: 2022-_____

LEGEND

EXISTING

NEW

DESCRIPTION



BOUNDARIES

BENCHMARK

SITE PROPERTY LINE

ADJACENT PROPERTY LINE

BUILDING SETBACK

PARKING SETBACK

SITE TEXT

PARKING COUNT

TOPOGRAPHY

INDEX CONTOUR

INTERVAL CONTOUR

SPOT ELEVATION

TOP OF CURB ELEVATION

TOP OF WALL ELEVATION

BOTTOM OF WALL ELEVATION

STREAM

STREAM BUFFER

100 YEAR FLOODPLAIN

BUILDING

BUILDING

RETAINING WALL

STAIRS

EDGE OF PAVEMENT

ROAD CENTERLINE

FRONT OF CURB

BACK OF CURB

CG-12 TRUNCATED DOME

SIDEWALK

BIKE PARKING

HANDICAP ACCESSIBLE AISLE

HANDICAP PARKING

MATERIAL

CONCRETE

RIPRAP

ASPHALT

EC-2 MATTING

EC-3 MATTING

WETLAND

TREELINE

FENCE

UTILITY

UTILITY POLE

GUY WIRE

OVERHEAD UTILITY

UNDERGROUND UTILITY

STORM

STORM MANHOLE

DROP INLET

STORM SEWER

ROOF DRAIN

SANITARY

SANITARY MANHOLE

SANITARY SEWER MAIN

SANITARY SEWER LATERAL

WATER

WATER LINE

WATER METER

WATER METER VAULT

FIRE HYDRANT

FIRE DEPARTMENT CONNECTION

GAS

GAS LINE

EASEMENTS

CONSTRUCTION

GRADING

ACCESS

SIGHT DISTANCE

UTILITY

STORMWATER FACILITY MAINTENANCE

STORMWATER ACCESS

DRAINAGE

SANITARY

WATERLINE

GASLINE

OWNER & DEVELOPER

Cory J. Johnston
498 Cunningham Meadows Drive
Palmira VA 22963
Phone Number: 434-218-9707
Email: contactcoryjohnston@gmail.com

PLAN PREPARER

Shimp Engineering, P.C.
912 East High Street
Charlottesville, VA 22902
(434) 227-5140

ZONING

A-1 - Agricultural
Request to rezone from A-1 Agricultural to B-1 Commercial
Request for special use permit for contractor's storage yard

SETBACKS

Front (building): 50' from ROW
Front (parking): 25' from ROW
Side Adj. to Agricultural/Residential District (building): 50'
Side Adj. to Agricultural/Residential District (parking): 25'

MAGISTERIAL DISTRICT

Cunningham

SOURCE OF TITLE

Inst. 210003288

SOURCE OF BOUNDARY AND TOPOGRAPHY

Boundary & topographic survey provided by: Foresight Survey P.C. within area delineated (2)-ft interval contours shown per LIDAR, Virginia Geographic Information Network, 2016

BENCHMARK

Vertical Datum for topography is NAVD 88

FLOODZONE

FEMA flood insurance rate map (community panel 51065C0065C), effective date May 16, 2008 shows this property is not within zone AE and no portion of the property lies within the 100-year flood plain.

RESERVOIR WATERSHED

HUC12.020802040501
Rivanna River- Stigger Creek

WATER & SANITARY SERVICES

Property lies within AQUA Virginia service area; public water and sewer connections are proposed if easements exist or can be obtained for connections

VDOT NOTES

VDOT's land development south staff (540-967-3715 or 540-967-3716) shall be notified 48 hours in advance of any anticipated road/shoulder closures. The permittee or his or her designee shall report all work zones in the VDOT right of way on a daily basis at set up and take down to VDOT's Smart Traffic Center (540-332-9500). "Copies of all independent testing reports to be submitted to VDOT for verification." "A minimum 48 hours advance notification of a proof roll of both the subgrade and stone base is required by VDOT." "All areas excavated below existing pavement surface and within clear zone, at the conclusion of each workday, shall be backfilled to form an approximate 6:1 wedge, against the existing pavement surface for the safety and protection of vehicular traffic." And that "Traffic shall be maintained during construction of the tie-in and mill of the adjacent travel lanes," "water lines, sewer lines, etc. crossing future VDOT maintained roads have to be sleeved with ductile iron pipe "two (2) times diameter of the utility line)." And "A video (3 electronic copies to VDOT) of all stormwater systems carrying VDOT runoff or runoff under a future state road is required to be submitted to VDOT for review and approval prior to paving operations.

GENERAL NOTES

- The information and data shown or indicated with respect to the existing underground utilities at or contiguous to the site are based on information and data furnished to the owner and engineer by the owners of such underground facilities or others. The owner or engineer shall not be responsible for the accuracy or completeness of such information or data. The contractor shall have full responsibility for confirming the accuracy of the data, for locating all underground utilities, for coordination of the work with owners of such underground utilities during construction, for the safety and protection thereof and repairing any damage thereto resulting from the work. All of these conditions shall be met at no additional cost to the owner. The contractor shall contact "Miss Utilities" of Virginia at 1-800-552-7001 prior to the start of work.
- When working adjacent to existing structures, poles, etc., the contractor shall use whatever methods that are necessary to protect structures from damage. Replacement of damaged structures shall be at the contractor's expense.
- The contractor shall be responsible for protecting all existing site structures from damage and coordinating work so that the owner can make necessary arrangements to modify/protect existing structures from damages.
- The contractor shall be responsible for notifying all utility owners, adjacent land owners whose property may be impacted and the Virginia Department of Transportation prior to completing any off-site work.
- Contractor shall notify and coordinate all work involving existing utilities with utility owners, at least 72 hours prior to the start of construction.
- Contractor shall immediately report any discrepancies between existing conditions and contract documents to the owner and engineer.
- Contractor shall submit for the approval of the owner submittals of all specified materials listed in the plans, to include shop drawings, manufacturer's specifications and laboratory reports. The owner's approval of submittals will be general and will not relieve the contractor from the responsibility of adherence to the contract and for any error that may exist.
- All bare areas shall be scarified, limed, fertilized, seeded and mulched.
- All trees, saplings, brush, etc. shall be removed from within the right of way and the drainage easements.
- Retaining walls require separate building permits.
- All water service lines, sanitary laterals, and sprinkler lines must be visually inspected by the Building Department from the main to the structure.

EXISTING USE

Vacant Land
Property Area: 6.35 Acres

PROPOSED USE

Contractor's Storage Yard & Self-Storage

LIMITS OF DISTURBANCE

6.15 Acres shall be disturbed with this development.
Latitude: 37.905575, Longitude: -78.344528

LAND USE SCHEDULE

EXISTING	AREA (SF)	AREA (AC)	%
BUILDING	0 0	0 00	0.0%
PAVEMENT	0 0	0 00	0.0%
FOREST	276606 0	6 35	100.0%
TOTAL	276606 0	6 35	100.0%

PROPOSED	AREA (SF)	AREA (AC)	%
BUILDING	121709 0	2 79	44.0%
PAVEMENT & SW	39914 0	0 92	14.4%
MANAGED TURF	114983 0	2 64	41.6%
TOTAL	276606 0	6 35	100%

PARKING SCHEDULE

Parking Schedule for TM 17-2-2

Required parking:

Per Fluvanna County Code of Ordinances: SEC 22-26.8 Off-Street parking requirements, (Table 2).

*Office: 1 Space per 300 square feet of up to 15,000 square feet, (5) five Parking minimum;

1 space per 350 sq ft thereafter

*Unspecified Sufficient Parking for average number of employees and visitors.

Per Fluvanna County Code of Ordinances: SEC 22-26.4 A. (1) parking spaces dimensions

Dimension Perpendicular parking: 9' x 18'

Per Fluvanna County Code of Ordinances: SEC 22-26.4 (B) Handicapped Parking.

*Handicap (HC): Handicapped parking spaces shall have a:

Minimum: Eight Feet (8'), With adjacent five foot (5') provided on on side to the handicapped.

Minimum Length: Eighteen feet (18')

Required:

*Office: Area= 1000 sq ft = (5 parking Minimum)

* Unspecified parking provided = 3 spaces

* HC: 2 Handicap Spaces

* Total Parking required: 5 + 3 + 2 HC = 10 Spaces

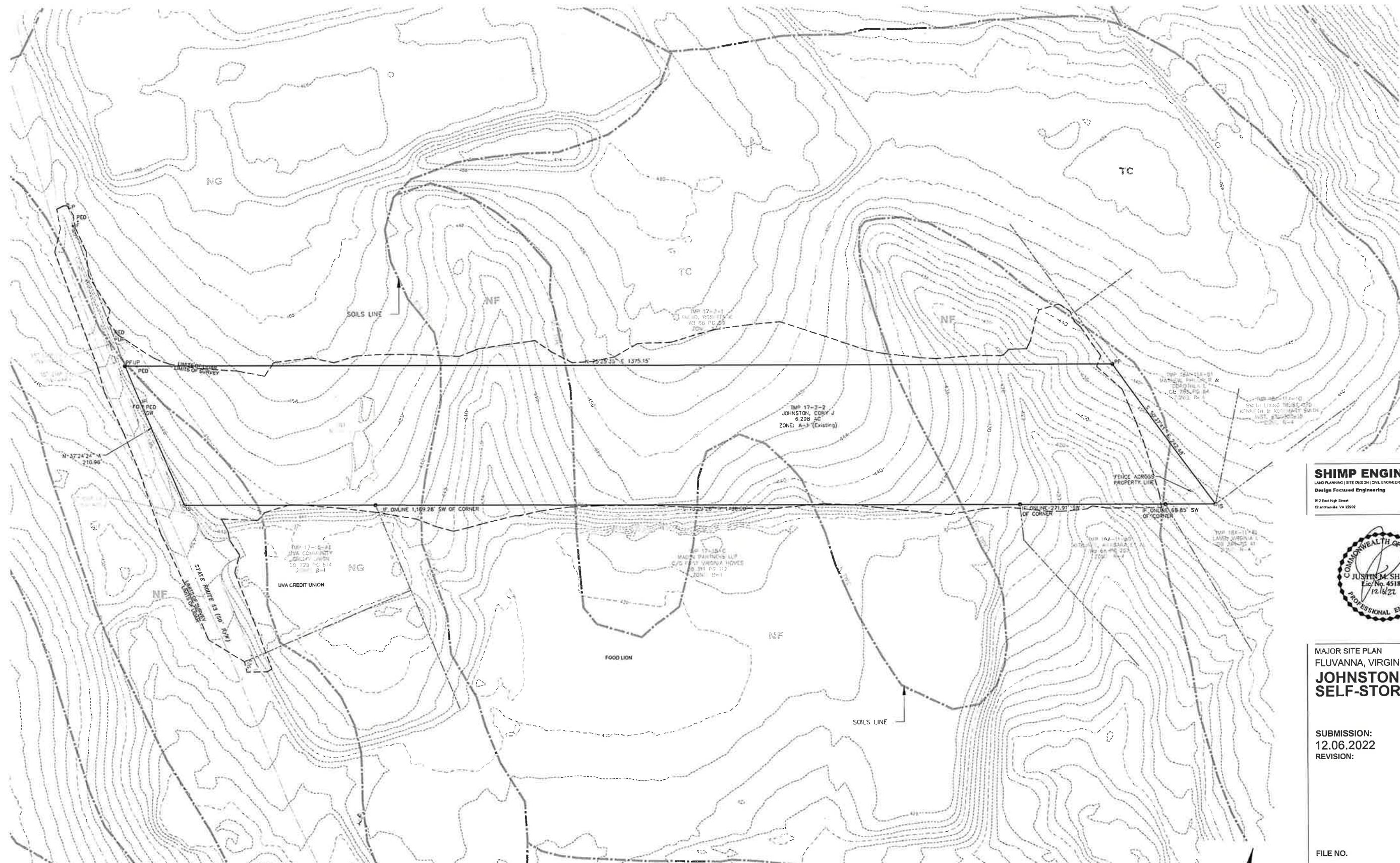
Provided:

5 (9'x18') Proposed Spaces for Office Space per Sec 22-26-8 Table 2

3 (9' x 18') Proposed Spaces for Office Space per Sec 22-26-8 Table 2

2 (8'x18') Handicap Parking Spaces per Sec 22-26-4 (B)

Total Parking Provided = 5 + 3 + 2 HC = 10 Spaces Provided



SHIMP ENGINEERING
LAND PLANNING | SITE DESIGN | CIVIL ENGINEERING | PROJECT MANAGEMENT
Design Focused Engineering
912 East High Street
Charlottesville, VA 22902
Phone: 434-221-5145
shimp-engineering.com

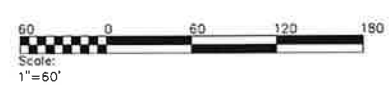


MAJOR SITE PLAN
FLUVANNA, VIRGINIA
**JOHNSTON & CO.
SELF-STORAGE**

SUBMISSION:
12.06.2022
REVISION:

FILE NO. 21.078

EXISTING CONDITIONS



C2



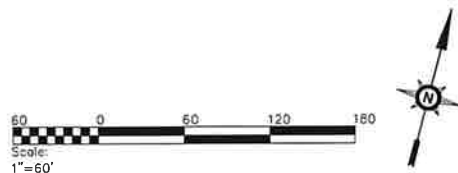
MAJOR SITE PLAN
FLUVANNA, VIRGINIA
JOHNSTON & CO.
SELF-STORAGE

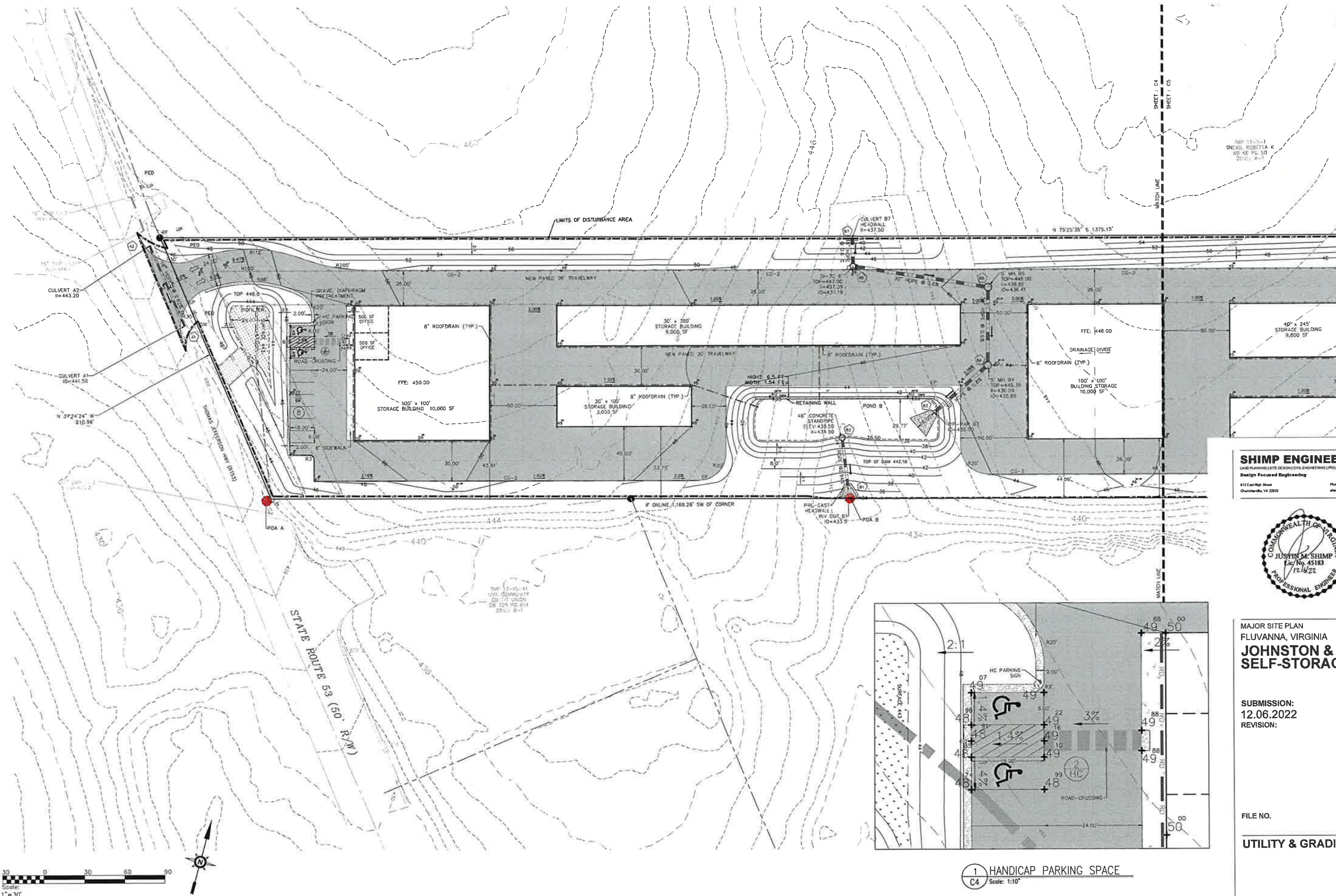
SUBMISSION:
12.06.2022
REVISION:

FILE NO. 21.07

SITE PLAN

C3





SHIMP ENGINEERING
LAND PLANNING (SITE DESIGN) CIVIL ENGINEERING (PROJECT MANAGEMENT)
Design Focused Engineering
6112 Carlisle Blvd
Charlottesville, VA 22902
Phone: 434.227.5140
shimp-engineering.com



MAJOR SITE PLAN
FLUVANNA, VIRGINIA
**JOHNSTON & CO.
SELF-STORAGE**

SUBMISSION:
12.06.2022
REVISION:

FILE NO. 21.078
UTILITY & GRADING - 1

1 HANDICAP PARKING SPACE
C4 Scale: 1:10'

C4

EARTH FILL NOTES

1. **Material** - Fill material should be taken from an approved, designated borrow area. It should be free of roots, stumps, wood, rubbish, stones greater than 6 inches, and frozen or other objectionable materials. Fill material for the center of the embankment and the cutoff trench should conform to Unified Soil Classification GC, SC, or CL. Consideration may be given to the use of other materials in the embankment based on the recommendations of a geotechnical engineer supervises the design and construction.
2. **Placement** - Areas on which fill is to be placed should be scarified before its placement. Fill material should be placed in layers a maximum of 8 inches thick (before compaction), which should be continuous over the entire length of the fill. The most permeable borrow material should be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and not excavated into the embankment.
3. **Compaction** - Fill material should be compacted with appropriate compaction equipment such as a sheepfoot, rubber-tired or vibratory roller. The number of required passes by the compaction equipment over the fill material may vary with soil conditions. Fill material should contain sufficient moisture such that the required degree of compaction will be obtained with the equipment used. The minimum required density is 95% of maximum dry density with a moisture content within \pm 2% of the optimum, unless otherwise specified by the engineer. Each layer of the fill should be compacted as necessary to obtain minimum density and the engineer should certify, at the time of construction, that each fill layer meets the minimum density requirement. All compaction is to be determined by either Standard Proctor Test (ASTM D698) or the Modified Proctor Test (ASTM D1557) as directed by the geotechnical engineer based on site and soil conditions and the size and type of structure being built.
4. **Cutoff Trench** - The cutoff trench should be excavated into impervious material along or parallel to the centerline of the embankment as shown on the plans. The equipment used for excavation should govern the bottom width of the trench, with the minimum width being 4 feet. The depth should be at least 4 feet below existing grade or as shown on the plans. The side slopes of the trench should be 1H:1V or flatter. The backfill should be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability.
5. **Top Soil** - The surface layer of compacted fill should be scarified prior to placement of at least 6 inches of topsoil. The topsoil shall be stabilized with in accordance with the Virginia Erosion and Sediment Control Handbook, latest edition.

BIOFILTER INSTALLATION NOTES

1. Construction of the Bioretention area may only begin after the entire contributing drainage area has been stabilized with vegetation. It may be necessary to block certain curb or other inlets while the Bioretention area is being constructed, the proposed site should be checked for existing utilities prior to any excavation.
2. The designer and the installer should have a Preconstruction meeting, checking the boundaries of the contributing drainage area and the actual inlet elevations to ensure they conform to original design, since other contractors may be responsible for constructing portions of the site, it is quite common to find subtle differences in site grading, drainage and paving elevations that can produce hydraulically important differences for the proposed Bioretention area. The designer should clearly communicate, in writing, any project changes determined during the preconstruction meeting to the installer and the plan review/inspection authority.
3. Temporary e&s controls are needed during construction of the Bioretention area to divert stormwater away from the Bioretention area until it is completed. special protection measures such as erosion control fabrics may be needed to protect vulnerable side slopes from erosion during the construction process.
4. Any pre-treatment cells should be excavated first and then sealed to trap sediments.
5. Excavators or backhoes should work from the sides to excavate the Bioretention area to its appropriate design depth and dimensions. excavating equipment should have scoops with adequate reach so they do not have to sit inside the footprint of the Bioretention area. Contractors should use a cell construction approach in larger Bioretention filter, whereby the Bioretention filter is split into 500 to 1,000 sq. ft. Temporary cells with a 10-15 foot earth bridge in between, so that cells can be excavated from the side.
6. It may be necessary to rip the bottom soils to a depth of 6 to 12 inches to promote greater infiltration.
7. Place geotextile fabric on the sides of the Bioretention area with a 6-inch overlap on the sides. If a stone storage layer will be used, place the design 2 inch depth of #3 stone on the bottom, then install the perforated underdrain pipe. contact design engineer for inspection.
8. When inspection is complete, place remaining #3 stone to complete storage layer. contact design engineer for inspection.
9. When inspection is complete, add 8 inches of #57 stone topped with 2 inches of #8 choker stone topped with 2 inches of sand as a filter between the stone storage and the soil media layer. For lengths directly above the underdrain, lay a single 2' wide strip of mirafi 140n or equivalent nonwoven filter fabric above this sand/choker stone layer, contact design engineer for inspection.
10. When inspection is complete, install the Biofilter Media. Media shall be obtained from a qualified vendor. 110% of Media volumes shown in this design purchased and installed to account for settlement. Media mix shall be stored on an adjacent impervious area or plastic sheeting, after verifying that the media meets the specifications, apply the Media in 12-inch lifts or using a Telebelt or equivalent measure until the desired top elevation of the Bioretention area is achieved. Elevation at installation should be higher than final settled elevation. Design engineer shall verify settled Media elevation. Important: NO construction equipment shall be allowed on media. Contractor shall not compact media.
11. Prepare planting holes for any trees and shrubs, install the vegetation, and water accordingly. Install any temporary irrigation.
12. Place the surface cover in Bioretention (mulch, river stone or turf), depending on the design. If coir or jute matting will be used in lieu of mulch, the matting will need to be installed prior to planting, and holes or silts will have to be cut in the matting to install the plants.
13. Install the plant materials as shown in the landscaping plan, and water them during weeks of no rain for the first two months.

FINAL BMP INSPECTION CHECKLIST

- ☐ Contributing drainage areas have been adequately stabilized with a thick layer of vegetation and erosion control measures have been removed.
- ☐ Verify the proper coverage and depth of mulch, vegetation, or soil matting has been achieved following construction, both on the filter bed and the side-slopes.
- ☐ Inspect the pre-treatment forbays and filter strips to verify that they are properly installed, stabilized, and working effectively before opening the facility to runoff.
- ☐ Check that outfall protection/energy dissipation measures at concentrated inflow and outflow points are stable.
- ☐ Follow-up inspection and as-built survey/certification has been scheduled.
- ☐ GPS Coordinates have been documented for all BMPs practices on the parcel.

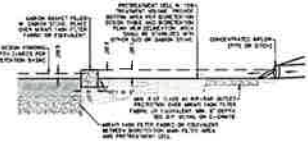
FIRST-YEAR BMP MAINTENANCE OPERATIONS

- Successful establishment of Bioretention areas requires that the following tasks be undertaken in the first year following installation:
- Initial inspections: for the first 6 months following construction, the site should be inspected at least twice after storm events that exceed 1/2 inch of rainfall.
 - Spot Reseeding: inspectors should look for bare or eroding areas in the contributing drainage area or around the Bioretention area, and make sure they are immediately stabilized with grass cover.
 - Fertilization: one-time, spot fertilization may be needed for initial plantings.
 - Watering: watering is needed once a week during the first 2 months, and then as needed during first growing season (april-october), depending on rainfall.
 - Remove and Replace Dead Plants. Since up to 10% of the plant stock may die off in the first year, construction contracts should include a care and replacement warranty to ensure that vegetation is properly established and survives during the first growing season following construction. The typical thresholds below which replacement is required are 85% survival of plant material and 100% survival of trees.

ANNUAL BMP INSPECTION CHECKLIST

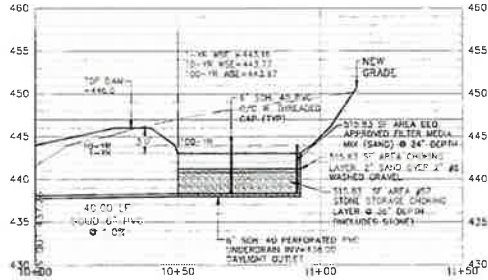
- It is highly recommended that a spring maintenance inspection and cleanup be conducted the Bioretention area. the following is a list of some of the key maintenance problems to look for:
- Check to see if 75% to 90% cover (mulch plus vegetative cover) has been achieved in the bed, and measure the depth of the remaining mulch.
 - Check for sediment buildup at curb cuts, gravel diaphragms or pavement edges that prevents flow from getting into the bed, and check for other signs of bypassing.
 - Check for any winter- or salt-killed vegetation, and replace it with hardier species.
 - Note presence of accumulated sand, sediment and trash in the pre-treatment cell or filter beds, and remove it.
 - Inspect Bioretention side slopes and grass filter strips for evidence of any rill or gully erosion, and repair it.
 - Check the Bioretention bed for evidence of mulch flotation, excessive ponding, dead plants or concentrated flows, and take appropriate remedial action.
 - Check inflow points for clogging, and remove any sediment.
 - Look for any bare soil or sediment sources in the contributing drainage area, and stabilize them immediately.
 - Check for clogged or slow-draining soil media, a crust formed on the top layer, inappropriate soil media, or other causes of insufficient filtering time, and restore proper filtration characteristics.

BIORETENTION BASIN C2 LANDSCAPE LIST				
Plant Symbol	Planting Type	Botanical Name	Common Name	Quantity
	Perennial	Monarda didyma	Bee Balm	4
	Small Tree	Salix nigra	Black Willow	2
	Medium Tree	Betula nigra	River Birch	2
				Total: 8
Plantings to reach 75% coverage within 2 years				



1 BIORETENTION LANDSCAPE LIST
C7 Not To Scale

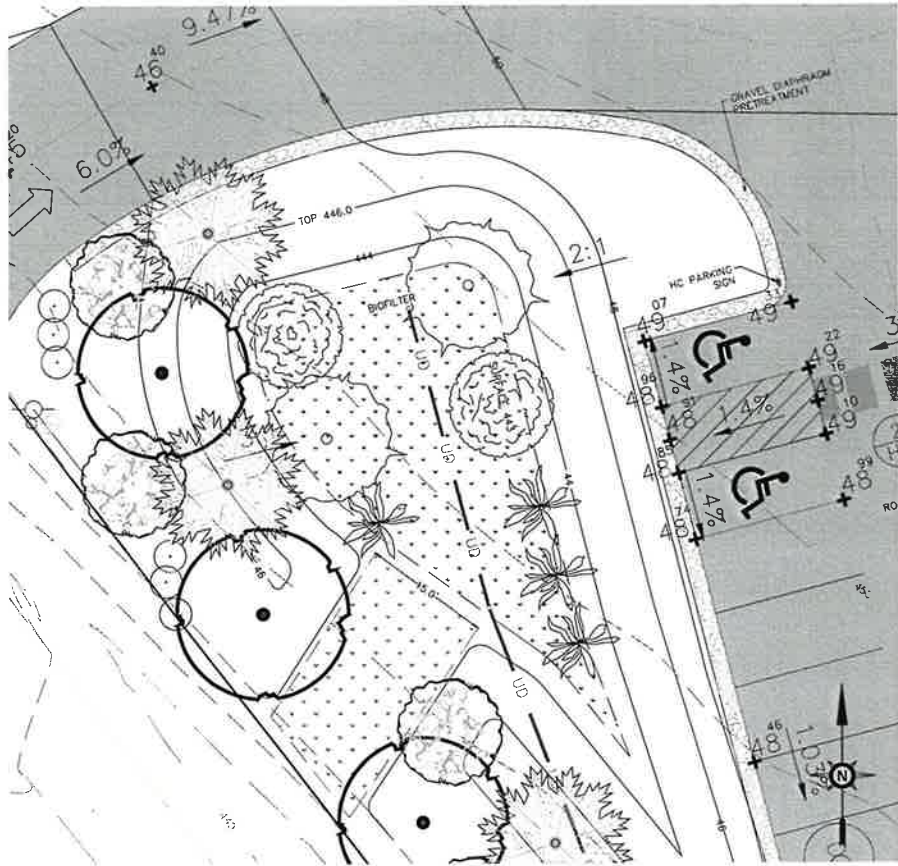
2 GABION PRETREATMENT DESIGN
C7 Not To Scale



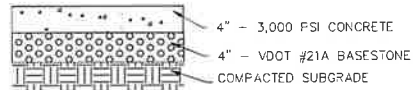
3 BIOFILTER A PROFILE
C7 Not To Scale

JOHNSTON & CO. SELF-STORAGE	
BIORETENTION FILTER CALCULATIONS	
Bioretention Filter A	
Gravel Bottom Elevation	438.00
Soil Media Bottom Elev.	441.00
Filter Surface Elev.	443.00
Top of Berm Elev.	446.00
Standpipe Detail	None
Standpipe Rim Elev.	-
Underdrain (Perforat. PVC)	6" @ 438.00
Primary Spillway	15' Weir @ 443.7
Bioretention Notes	Drains into road side Ditch
1-yr WSE	443.16
10-yr WSE	443.77
100-yr WSE	443.97
Level of Design	Level 1
Design Volume/ Treatment	1238
Required Pretreatment Vol.	185.7
Drainage Area	0.69
Pretreatment Design	Gravel Flow Spreader
Provided Media Area	1040
Plantings Required	8
Plantings Provided*	8
Biofilter Sizing Calculations	
Depth of stone	3.00
Depth of media	2.00
Ponding depth	0.70
Equivalent depth: stone (D x 0.4)	1.20
Equivalent depth: media (D x 0.25)	0.50
Equivalent depth: surface (D x 1.0)	0.70
Sum of equivalent depth	2.40
TV (from VRRM) (cf)	1238
Required Media Area = TV / sum of Equivalent depth	515.83
* Tree, Shrub, and Herbaceous Landscaping. Plantings are provided with approx. 40% tree canopy and 60% shrub canopy.	
* Plants are provided to the following densities: Trees 1/250 sf, shrubs 1/100 sf)	

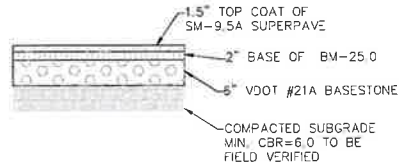
5 BIOFILTER CALCULATION
C7 Not To Scale



4 BIOFILTER A PLAN
C7 Scale: 1"=10'



6 TYPICAL SIDEWALK SECTION
C7 Not To Scale



7 ENTRANCE PAVEMENT DETAIL
C7 Not To Scale

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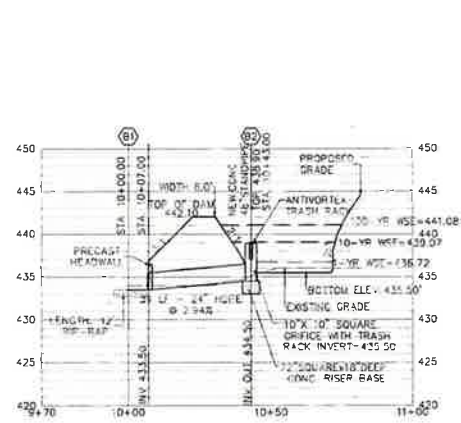
MAJOR SITE PLAN
FLUVANNA, VIRGINIA
JOHNSTON & CO. SELF-STORAGE

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12.06.2022
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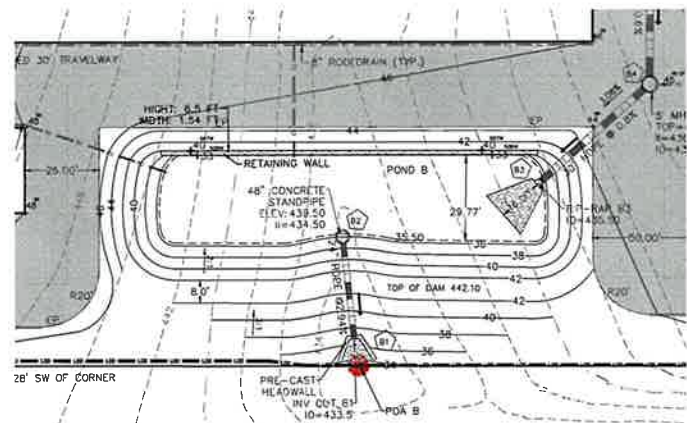
FILE NO. 21.078

SITE DETAILS - 1

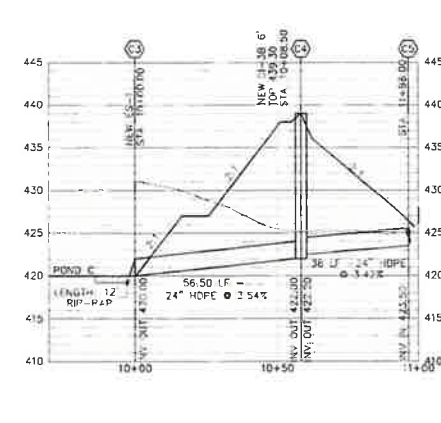
C7



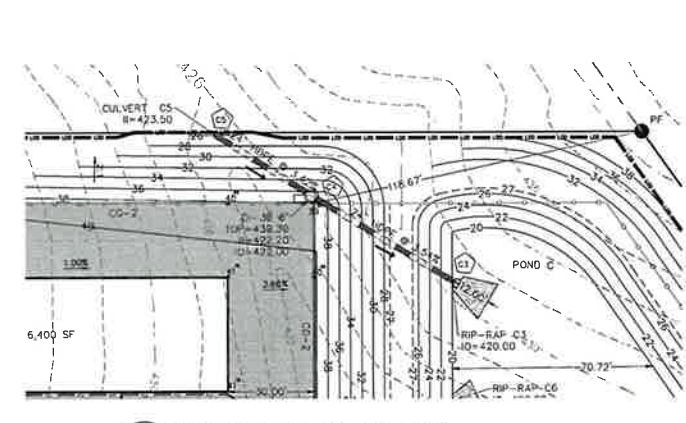
1 POND B PROFILE
C7 SCALE: HORIZ:1:30 VERT:1:10



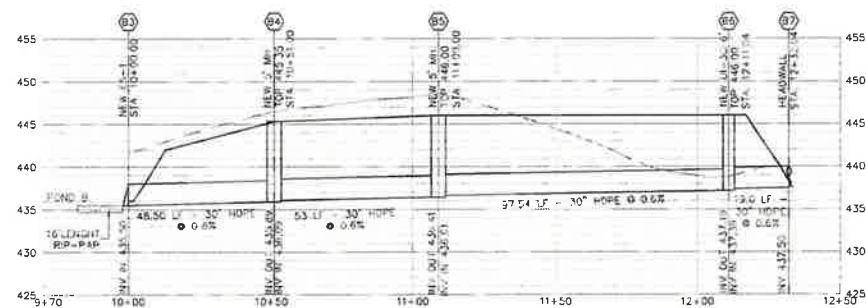
2 POND B PLAN
C7 Scale: 1"=30'



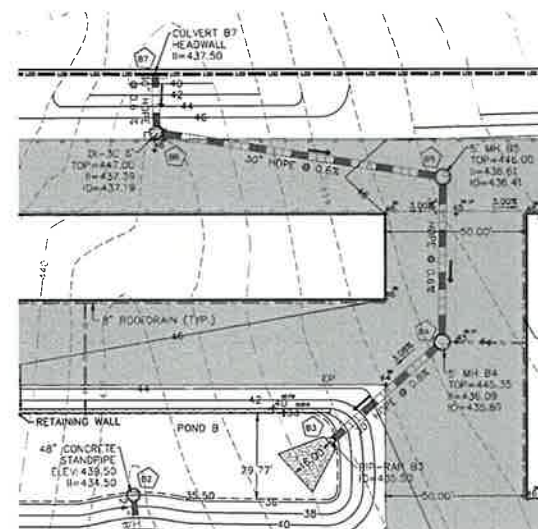
3 MANHOLE C3 TO C5 PROFILE
C8 SCALE: HORIZ:1:30 VERT:1:10



4 MANHOLE C3 TO C5 PLAN
C8 Scale: 1"=30'

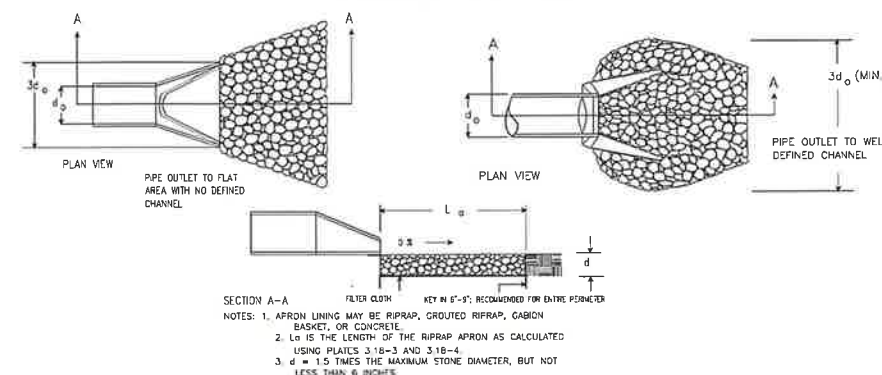


5 MANHOLE B3 TO B7 PROFILE
C7 SCALE: HORIZ:1:30 VERT:1:10



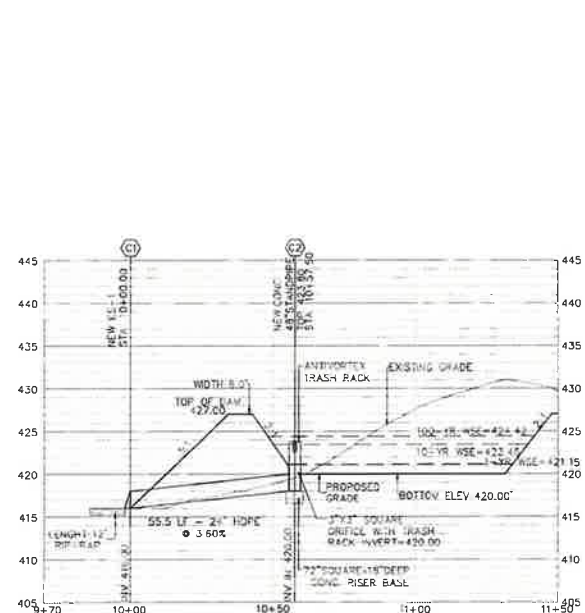
6 MANHOLE B3 TO B7 PLAN
C7 Scale: 1"=30'

PIPE OUTLET CONDITIONS

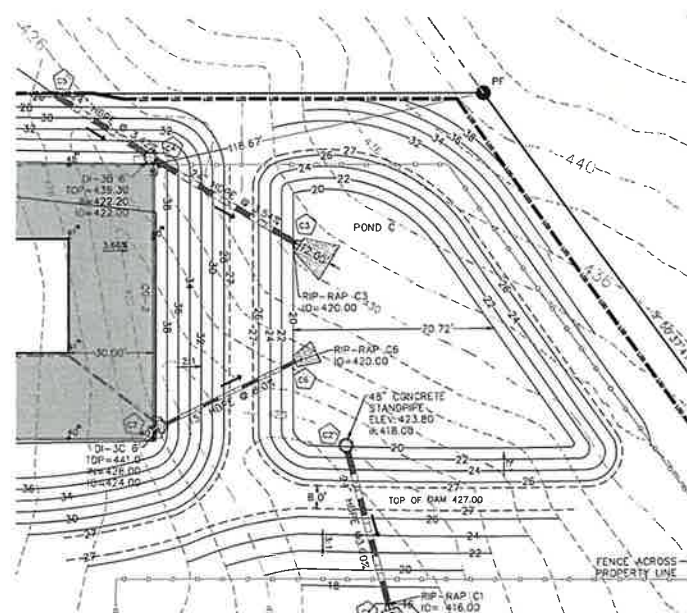


	Q_{10} (cfs)	L_a (ft)	D_o (ft)	$3D_o$ (ft)	d_{50} (in)	depth (in)	W (Provided)	Outlet Condition
OUTLET 1 (B7-B3)	25.54	16.0	2.00	6.00	6.0	9.0	18.00	Flat Area Adj to Channel
OUTLET (B1)	15.53	12.0	2.00	6.00	6.0	9.0	14.00	Flat Area Adj to Channel
OUTLET 1 (C5-C3)	2.83	12.0	2.00	6.00	6.0	9.0	14.00	Flat Area Adj to Channel
OUTLET (C1)	14.56	12.0	2.00	6.00	6.0	9.0	14.00	Flat Area Adj to Channel

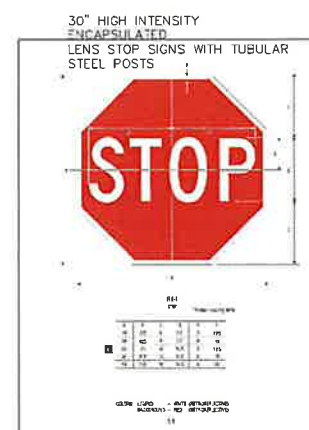
8 OUTLET PROTECTION (OP)
C8 Not to Scale



9 POND C PROFILE
C8 SCALE: HORIZ:1:30 VERT:1:10



10 POND C PLAN
C8 Scale: 1"=30'



11 STOP SIGN DETAIL
C8 NOT TO SCALE



12 HANDICAP PARKING SIGN
C8 NOT TO SCALE



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MAJOR SITE PLAN
FLUVANNA, VIRGINIA
**JOHNSTON & CO.
SELF-STORAGE**

SUBMISSION:
12.06.2022
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FILE NO. 21.078
SITE DETAILS - 2

C8

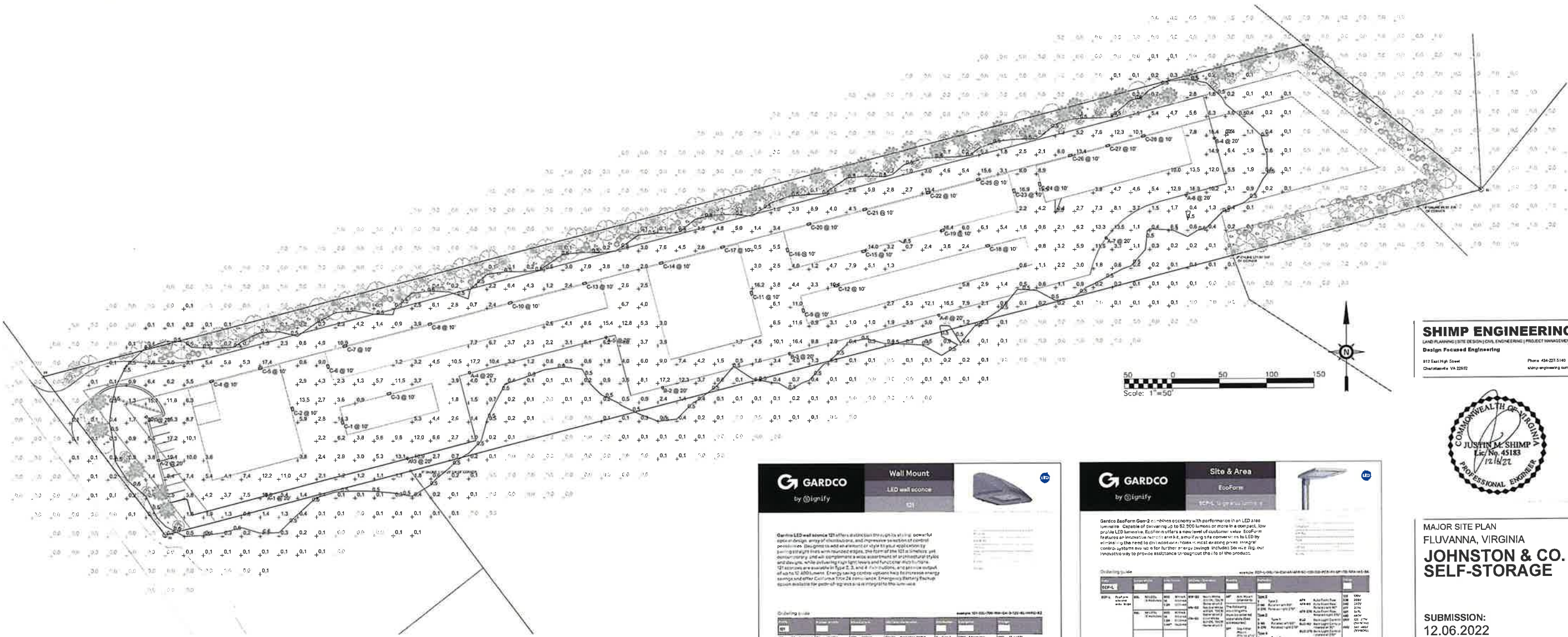
Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number of Lamps	Filename	Wallage	Light Loss Factor
	A	8	SIGNIFY GARDCO	ECF-L-96L-1,4A-WW-G2-3	EcoForm Area LED ECF - Large, 96 LED's, 3000K CCT, TYPE 3 OPTIC, No Shield	(6) LEDGINE SLD LIGHT ARRAY(S) DRIVEN AT 1370mA	ecf-l-96l-1-4a-ww-g2-3.ies	422.0	1.00
	B	4	SIGNIFY GARDCO	ECF-L-96L-1,4A-WW-G2-4	EcoForm Area LED ECF - Large, 96 LED's, 3000K CCT, TYPE 4 OPTIC, No Shield	(6) LEDGINE SLD LIGHT ARRAY(S) DRIVEN AT 1370mA	ecf-l-96l-1-4a-ww-g2-4.ies	422.0	1.00
	C	28	SIGNIFY GARDCO	121-32L-1000-WW-G4-3	121 LED Sconce	(2) LEDGINE DRIVEN AT 1000 mA	121-32l-1000-ww-g4-3.ies	106.7	1.00

Lighting Notes:

1. Pole mounted fixtures shall be mounted at a height of 20' from the finished grade which includes the pole base.
2. Each outdoor luminaire equipped with a lamp that emits 3,000 or more initial lumens shall be a full cutoff luminaire and shall be arranged or shielded to reflect light away from adjoining residential districts and away from adjacent roads. The spillover of lighting from luminaires onto public roads and property in residential or rural areas zoning districts shall not exceed one half footcandle.

STATISTICS
AVERAGE: 1.5 fc
MAXIMUM: 20.5 fc
MINIMUM: 0.0 fc



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SELF-STORAGE**

SUBMISSION:
12.06.2022
REVISION:

FILE NO.

21.078

LIGHTING PLAN

C9

GARDCO
by @lignify

Wall Mount
LED wall sconce
121

Over this LED wall sconce (21) offers a distinctively bright, yet powerful light source for interior and exterior applications. Designed to add an element of style to your application by providing bright light with a modern design, the form of the 121 is simple and contemporary and will complement a wide assortment of architectural styles and designs. The following light levels and footcandle readings are for the 121 sconce as available in Type 3, 4, and 5. The 121 sconce has a maximum output of up to 12,000 lumens. Energy saving controls options help for maximum energy savings and other features like the 24-hour timer, Emergency Battery Backup, and more are available for the 121 sconce and are integrated into the luminaire.

Driving guide

Item	Part Number	Quantity	Manufacturer	Description	Notes
1	121-32L-1000-WW-G4-3	28	SIGNIFY GARDCO	121 LED Sconce	See schedule for details

Only 121 up to 1000mA can be used as a wall sconce. 121 up to 1000mA can be used as a wall sconce. 121 up to 1000mA can be used as a wall sconce. 121 up to 1000mA can be used as a wall sconce. 121 up to 1000mA can be used as a wall sconce.

GARDCO
by @lignify

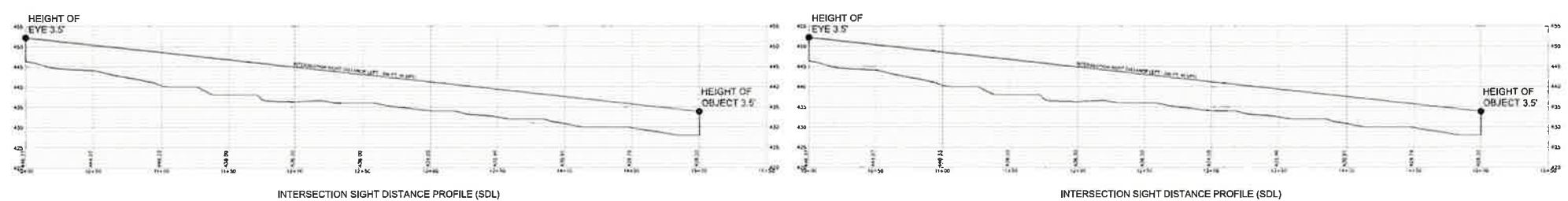
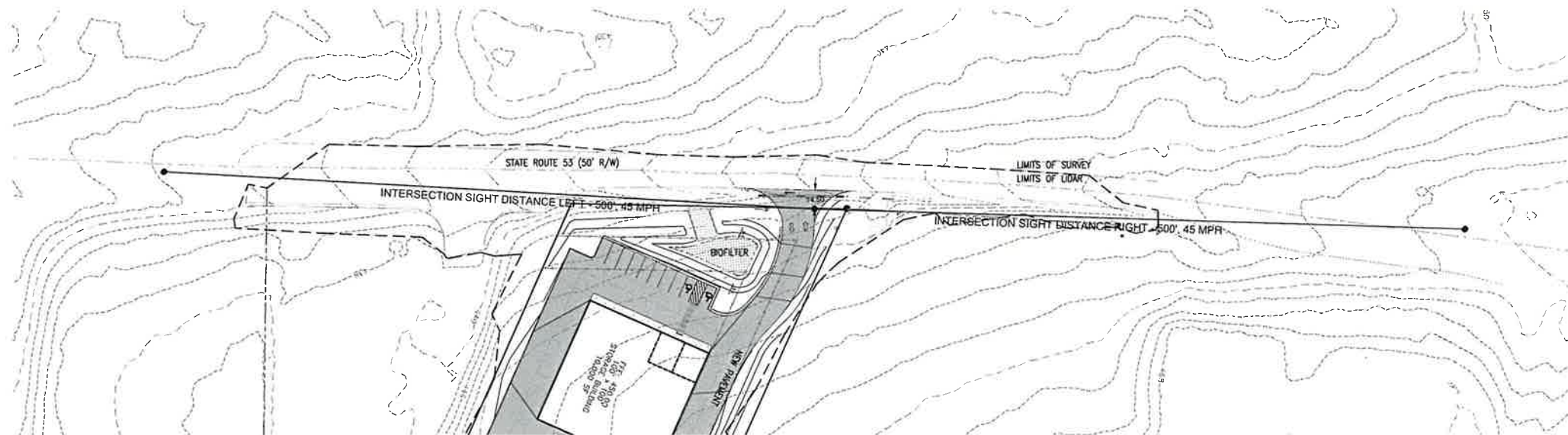
Site & Area
EcoForm

Gardco EcoForm Gem-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 52,500 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, allowing a life conversion to LED by simply attaching the retrofit arm to the existing luminaire. EcoForm's energy saving controls options help for maximum energy savings and other features like the 24-hour timer, Emergency Battery Backup, and more are available for the EcoForm luminaire and are integrated into the luminaire.

Driving guide

Item	Part Number	Quantity	Manufacturer	Description	Notes
1	ECF-L-96L-1,4A-WW-G2-3	8	SIGNIFY GARDCO	EcoForm Area LED ECF - Large, 96 LED's, 3000K CCT, TYPE 3 OPTIC, No Shield	See schedule for details
2	ECF-L-96L-1,4A-WW-G2-4	4	SIGNIFY GARDCO	EcoForm Area LED ECF - Large, 96 LED's, 3000K CCT, TYPE 4 OPTIC, No Shield	See schedule for details

Only 121 up to 1000mA can be used as a wall sconce. 121 up to 1000mA can be used as a wall sconce. 121 up to 1000mA can be used as a wall sconce. 121 up to 1000mA can be used as a wall sconce. 121 up to 1000mA can be used as a wall sconce.



1 INTERSECTION SIGHT DISTANCE LEFT PROFILE
C10 Scale: 1"=50'

2 INTERSECTION SIGHT DISTANCE RIGHT PROFILE
C10 Scale: 1"=50'

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MAJOR SITE PLAN
FLUVANNA, VIRGINIA
**JOHNSTON & CO.
SELF-STORAGE**

SUBMISSION:
12.06.2022
REVISION:

FILE NO. 21.078
ENTRANCE DETAIL

C10

PROJECT DESCRIPTION, GENERAL NOTES, EROSION & SEDIMENT CONTROL NOTES, AND SEQUENCE OF CONSTRUCTION

PROJECT DESCRIPTION

THIS PROJECT IS LOCATED IN FLUVANNA COUNTY AND THE PURPOSE OF THIS PROJECT IS TO BUILD SIX (6) SELF STORAGE BUILDINGS AND ONE (1) OFFICE BUILDING WITH ASSOCIATED SITE FEATURES.

THE TOTAL AREA OF DISTURBANCE IS 6.15 ACRES.

THE PROJECT INVOLVES THE FOLLOWING WORK ACTIVITIES:

1. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE EROSION AND SEDIMENT PERMITTING REQUIREMENTS AND MAINTAIN ALL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE PERMIT REQUIREMENTS.
2. INSTALLATION OF PERMANENT EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLAN AND DETAILS.
3. GRADING AND PLACEMENT OF FILL SHALL BE IN GENERAL ACCORDANCE WITH THE PLAN.
4. ESTABLISHMENT OF PERMANENT STABILIZATION OF ALL DISTURBED AREAS.

EXISTING CONDITIONS

THE SITE IS CONCURRENTLY A VACANT WOODED LOT.

ADJACENT PROPERTIES

THIS PROPERTY IS BORDERED TO THE NORTH AND NORTH-EAST BY NAHAR VILLAGE WOODS AND RESIDENTIAL HOMES, TO THE WEST IS BORDERED BY THOMAS JEFFERSON PKWY, RTE 53 AND ON THE SOUTH BY FOOD LION AND COMMERCIAL ACTIVITIES.

OFFSITE AREAS

NO OFFSITE ACTIVITIES ARE PROPOSED

SOILS

THE SITE CONTAINS THE FOLLOWING SOIL TYPES:

- NG – NASON SILT LOAM,ROLLING PHASE 18% SLOPES, HSG B
- NF – NASON SILT LOAM, ERODED UNDULATING PHASE , 14% SLOPE, HSG B
- TC – TATUM SILT LOAM, ROLLING PHASE, 26.5% SLOPES, HSG B

CRITICAL AREAS

THERE ARE NO CRITICAL AREAS FOR THIS SITE.

EROSION & SEDIMENT CONTROLS

UNLESS OTHERWISE INDICATED, ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS AS SET FORTH IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. THE MINIMUM STANDARDS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS SHALL BE ADHERED TO UNLESS OTHERWISE WAIVED OR APPROVED BY VARIANCE.

TEMPORARY CONSTRUCTION ENTRANCE (CE) – 3.02
AN STONE PAD WILL BE CONSTRUCTED AT THE ENTRANCE THE SITE TO PROVIDE A MEANS OF REMOVING SEDIMENT FROM THE TIRES OF CONSTRUCTION VEHICLES LEAVING THE WORK SITE. THE CONTRACTOR SHALL REMOVE ANY MUD FROM THE EXISTING ROAD SURFACE BY MEANS OF SWEEPING AND SHOVELING.

SILT FENCE (SF) – 3.05
INSTALL AND MAINTAIN SILT FENCE THAT MEETS THE REQUIREMENTS OF STD. AND SPEC. 3.05. THIS SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE EROSION & SEDIMENT CONTROL PLAN AND ACCOMPANYING DETAILS FOR THE PURPOSE OF INTERCEPTING SILT-LADEN RUNOFF BEFORE IT IS DISCHARGED FROM THE SITE. THE SILT FENCE SHALL BE INSPECTED AND MAINTAINED TO ENSURE CONTINUED PERFORMANCE.

CONSTRUCTION ROAD STABILIZATION (CRS) –3.03
TEMPORARY STABILIZATION WITH STONE OF ACCESS ROADS, SUBDIVISION STREETS, PARKING AREAS, AND OTHER TRAFFIC AREAS IMMEDIATELY AFTER GRADING TO REDUCE EROSION CAUSED BY VEHICLES DURING WET WEATHER, AND TO PREVENT HAVING TO REGRADE PERMANENT ROADSBEES DURING INITIAL GRADING AND FINAL STABILIZATION.

CULVERT INLET PROTECTION (CIP) –3.08
A SEDIMENT FILTER LOCATED AT THE INLET TO STORM SEWER CULVERTS WHICH PREVENTS SEDIMENT FROM ENTERING, ACCUMULATING IN AND BEING TRANSFERRED BY THE CULVERT. IT ALSO PROVIDES EROSION CONTROL AT CULVERTS DURING THE PHASE OF A PROJECT WHERE ELEVATIONS AND DRAINAGE PATTERNS ARE CHANGING, CAUSING ORIGINAL CONTROL MEASURES TO BE INEFFECTIVE.

OUTLET PROTECTION (OP) –3.18
THE INSTALLATION OF RIPRAP CHANNEL SECTIONS AND/OR STILLING BASINS BELOW STORM DRAIN OUTLETS TO REDUCE EROSION AND UNDER-CUTTING FROM SCOURING AT OUTLETS AND TO REDUCE FLOW VELOCITIES BEFORE STORMWATER ENTERS RECEIVING CHANNELS BELOW THESE OUTLETS.

TEMPORARY DIVERSION DIKE (DD) –3.09
A RIDGE OF COMPACTED SOIL CONSTRUCTED AT THE TOP OR BASE OF A SLOPING DISTURBED AREA WHICH DIVERTS OFF-SITE RUNOFF AWAY FROM UNPROTECTED SLOPES AND TO A STABILIZED OUTLET, OR TO DIVERT SEDIMENT-LADEN RUNOFF TO A SEDIMENT TRAPPING STRUCTURE. MAXIMUM EFFECTIVE LIFE IS 18 MONTHS.

TEMPORARY SEDIMENT TRAP (ST) –3.13
A SMALL PONDING AREA, FORMED BY CONSTRUCTING AN EARTHEN EMBANKMENT WITH A STONE OUTLET ACROSS A DRAINAGE SWALE, TO DETAIN SEDIMENT-LADEN RUNOFF FROM SMALL DISTURBED AREAS FOR ENOUGH TIME TO ALLOW MOST OF THE SUSPENDED SOLIDS TO SETTLE OUT. MAXIMUM EFFECTIVE LIFE IS 18 MONTHS.

TEMPORARY SEDIMENT BASIN (SB) –3.14
A TEMPORARY BARRIER OR DAM WITH CONTROLLED STORMWATER RELEASE STRUCTURE WHICH IS FORMED BY CONSTRUCTING AN EMBANKMENT OF COMPACTED SOIL ACROSS A DRAINAGEWAY. IT IS USED TO DETAIN SEDIMENT-LADEN RUNOFF FROM DRAINAGE AREAS 3 ACRES OR GREATER FOR ENOUGH TIME TO ALLOW MOST OF THE SUSPENDED SOLIDS TO SETTLE OUT. IT CAN BE CONSTRUCTED ONLY WHERE THERE IS SUFFICIENT SPACE AND APPROPRIATE TOPOGRAPHY. MAXIMUM EFFECTIVE LIFE IS 18 MONTHS UNLESS DESIGNED AS A PERMANENT POND BY A QUALIFIED PROFESSIONAL, STD. AND SPEC. 3.14.

PERMANENT STABILIZATION:

TEMPORARY SEEDING (TS) – 3.31
TEMPORARY SEEDING SHALL BE APPLIED TO ALL DENUDED AREAS WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY OR MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 14 DAYS. TEMPORARY SEEDING SHALL BE APPLIED IN CONFORMANCE WITH STD. AND SPEC. 3.31.

PERMANENT SEEDING (PS) – 3.32
PERMANENT SEEDING SHALL BE APPLIED TO AREAS DELINEATED ON THESE PLANS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. PERMANENT SEEDING STABILIZES DISTURBED AREAS AND ENHANCES THE BEAUTY OF THE SITE.

MULCHING (MU) – 3.35
APPLICATION OF PLANT RESIDUES OR OTHER SUITABLE MATERIALS TO THE SOIL SURFACE TO PREVENT EROSION AND FOSTER THE GROWTH OF VEGETATION. ORGANIC MULCHES (STRAW) HAVE BEEN FOUND TO BE THE MOST EFFECTIVE.

EROSION & SEDIMENT CONTROL PRACTICES MAINTENANCE:

CONSTRUCTION ENTRANCE (CE) 3.02 MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR THE WASHING AND REWORKING OF EXISTING STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. THE USE OF WATER TRUCKS TO REMOVE MATERIALS DROPPED, WASHED, OR TRACKED ONTO ROADWAYS WILL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES.

CONSTRUCTION ROAD STABILIZATION (CRS) 3.03 MAINTENANCE: BOTH TEMPORARY AND PERMANENT ROADS AND PARKING AREAS MAY REQUIRE PERIODIC TOP DRESSING WITH NEW GRAVEL. SEEDED AREAS ADJACENT TO THE ROADS AND PARKING AREAS SHOULD BE CHECKED PERIODICALLY TO ENSURE THAT A VIGOROUS STAND OF VEGETATION IS MAINTAINED. ROADSIDE DITCHES AND OTHER DRAINAGE STRUCTURES SHOULD BE CHECKED REGULARLY TO ENSURE THAT THEY DO NOT BECOME CLOGGED WITH SILT OR OTHER DEBRIS.

SILT FENCE (SF) 3.05 MAINTENANCE:
A. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
B. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE RESULTING FROM EDDY RUNS AND UNDERCUTTING.
C. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
D. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
E. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

TEMPORARY SEDIMENT TRAP (ST) 3.13 MAINTENANCE:
A. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF OF THE DESIGN VOLUME OF THE TRAP. SEDIMENT REMOVAL FROM THE BASIN SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE AND CAUSE SEDIMENTATION.
B. FILTER STONE SHALL BE REGULARLY CHECKED TO ENSURE THAT FILTRATION CAPABILITY IS MAINTAINED. STONE CHOKED WITH SEDIMENT SHALL BE REMOVED AND CLEANED OR REPLACED.
C. THE STRUCTURE SHOULD BE CHECKED REGULARLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT. THE HEIGHT OF THE STONE OUTLET SHOULD BE CHECKED TO ENSURE THAT ITS CENTER IS AT LEAST 1 FOOT BELOW THE TOP OF THE EMBANKMENT.

TEMPORARY DIVERSION DIKE (DD) 3.09 MAINTENANCE: THE MEASURE SHALL BE INSPECTED AFTER EVERY STORM AND REPAIRS MADE TO THE DIKE, FLOW CHANNEL, OUTLET OR SEDIMENT TRAPPING FACILITY, AS NECESSARY. ONCE EVERY TWO WEEKS, WHETHER A STORM EVENT HAS OCCURRED OR NOT, THE MEASURE SHALL BE INSPECTED AND REPAIRS MADE IF NEEDED. IF THE BASIN IS DAMAGED BY CONSTRUCTION TRAFFIC OR OTHER ACTIVITY MUST BE REPAIRED BEFORE THE END OF EACH WORKING DAY.

TEMPORARY SEDIMENT BASIN (SB) 3.14 MAINTENANCE: THE BASIN EMBANKMENT SHOULD BE CHECKED REGULARLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT. THE EMERGENCY SPILLWAY SHOULD BE CHECKED REGULARLY TO ENSURE THAT ITS LINING IS WELL ESTABLISHED AND EROSION-RESISTANT. THE BASIN SHOULD BE CHECKED AFTER EACH RUNOFF-PRODUCING RAINFALL FOR SEDIMENT CLEANOUT WHEN THE SEDIMENT REACHES THE CLEAN-OUT LEVEL. IT SHALL BE REMOVED AND PROPERLY DISPOSED OF.

PERMANENT SEEDING (PS) 3.32 MAINTENANCE:
IN GENERAL, A STAND OF VEGETATION CANNOT BE DETERMINED TO BE FULLY ESTABLISHED UNTIL IT HAS UNDERGROUND UTILITIES, FOR COORDINATION OF THE WORK. IRRIGATION, NEW SEEDINGS SHOULD BE SUPPLIED WITH ADEQUATE MOISTURE, SUPPLY WATER AS NEEDED, ESPECIALLY LATE IN THE SEASON, IN ABNORMALLY HOT OR DRY WEATHER, OR ON ADVERSE SITES. WATER APPLICATION RATES SHOULD BE CONTROLLED TO PREVENT EXCESSIVE RUNOFF. INADEQUATE AMOUNTS OF WATER MAY BE MORE HARMFUL THAN NO WATER.
BEFORE INSPECT DISTURBED AREAS FOR FAILURE AND MAKE NECESSARY REPAIRS AND RESEEDING WITHIN THE SAME SEASON, IF POSSIBLE.
A. IF VEGETATIVE COVER IS INADEQUATE TO PREVENT RILL EROSION, OVER-SEED AND RESEED IN ACCORDANCE WITH SOIL TEST RESULTS.
B. IF A STAND HAS LESS THAN 40% COVER, RE-EVALUATE CHOICE OF PLANT MATERIALS AND QUANTITIES OF LIME AND FERTILIZER. THE SOIL MUST BE TESTED TO DETERMINE IF A ADDITIONAL NUTRIENTS ARE REQUIRED.
C. FOLLOWING SEEDING PREPARATION AND SEEDING RECOMMENDATIONS:
FERTILIZATION: COOL SEASON GRASSES SHOULD BEGIN TO BE FERTILIZED 90 DAYS AFTER PLANTING TO ENSURE PROPER STAND AND DENSITY.
WARM SEASON GRASSES SHOULD BEGIN TO BE FERTILIZED 60 DAYS AFTER PLANTING. FERTILIZER AS DETERMINED BY SOIL TEST. IN THE ABSENCE OF A SOIL TEST, FERTILIZATION SHOULD BE AS FOLLOWS:

COOL SEASON GRASSES:
4 LBS. NITROGEN (N) PER 1,000 SF PER YEAR
1 LB. PHOSPHORUS (P) PER 1,000 SF PER YEAR
2 LBS. POTASH (K) PER 1,000 SF PER YEAR
SEVENTY-FIVE PERCENT OF THE TOTAL REQUIREMENTS SHOULD BE APPLIED BETWEEN SEPTEMBER 1 AND DECEMBER 31ST. THE BALANCE SHOULD BE APPLIED DURING THE REMAINDER OF THE YEAR. MORE THAN 1 LB. OF SOLUBLE NITROGEN PER 1000 SF SHOULD NOT BE APPLIED AT ANY ONE TIME.
WARM SEASON GRASSES: APPLY 4-5 LBS. NITROGEN (N) BETWEEN MAY 1 AND AUGUST 15TH PER 1000 SF PER YEAR.
PHOSPHORUS (P) AND POTASH (K) SHOULD ONLY BE APPLIED ACCORDING TO SOIL TEST.

NOTE: THE USE OF SLOW-RELEASE FERTILIZER FORMULATIONS FOR MAINTENANCE OF TURF IS ENCOURAGED TO REDUCE THE NUMBER OF APPLICATIONS AND THE IMPACT ON GROUNDWATER.
ADDITIONAL INFORMATION ON THE SUCCESSFUL ESTABLISHMENT OF GRASSES AND LEGUMES SEE APPENDIX 3.32-B FOR "HELPFUL HINTS" IN ACHIEVING HIGH SUCCESS RATES IN GRASS OR LEGUME PLANTINGS.

MULCHING (MU) 3.35 MAINTENANCE: ALL MULCHES AND SOIL COVERINGS SHOULD BE INSPECTED PERIODICALLY (PARTICULARLY AFTER RAINSTORMS) TO CHECK FOR EROSION. WHERE EROSION IS OBSERVED IN MULCHED AREAS, ADDITIONAL MULCH SHOULD BE APPLIED. NETS AND MATS SHOULD BE INSPECTED AFTER RAINSTORMS FOR DISLOCATION OR FAILURE. IF WASHOUTS OR BREAKAGE OCCUR, RE-INSTALL NETTING OR MATTING AS NECESSARY AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH. INSPECTIONS SHOULD TAKE PLACE UP UNTIL GRASSES ARE FIRMLY ESTABLISHED. WHERE MULCH IS USED IN CONJUNCTION WITH ORNAMENTAL PLANTINGS, INSPECT PERIODICALLY THROUGHOUT THE YEAR TO DETERMINE IF MULCH IS MAINTAINING COVERAGE OF THE SOIL SURFACE. REPAIR AS NEEDED.

ENVIRONMENTAL CONTROLS

1. CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL ENVIRONMENTAL CONTROL MEASURES SO AS TO COMPLY WITH LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO WATER POLLUTION IN WATERS OF THE STATE AND IN INTERSTATE WATERS.

2. CONTRACTOR SHALL MINIMIZE THE POTENTIAL FOR AIR POLLUTION BY THE USE OF EMISSION CONTROL EQUIPMENT ON CONTRACTOR OPERATED EQUIPMENT. SHUT-DOWN OF MOTORIZED EQUIPMENT WHEN NOT IN USE, AND ACTIVELY CONTROLLING DUST EMISSIONS THROUGHOUT THE PROJECT.

3. ANY WASTE DISCOVERED DURING THE PROJECT SHALL NOT BE MOVED WITH OUT PRIOR AUTHORIZATION OF THE OWNER AND BE DIRECT-LOADED INTO COVERED ROLL-OFF CONTAINERS FOR TEMPORARY STORAGE PRIOR TO DISPOSAL IN A PERMITTED LANDFILL.

EROSION & SEDIMENT CONTROL PERMITTING

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE EROSION AND SEDIMENT CONTROL PERMITS AND MAINTAINING ALL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE PERMIT REQUIREMENTS.

MANAGEMENT STRATEGY AND SEQUENCE OF CONSTRUCTION

THE FOLLOWING ARE THE PROPOSED MANAGEMENT STRATEGIES AND DETAILED SEQUENCE OF CONSTRUCTION. REQUIRED PERMITS MUST BE IN-HAND BEFORE WORK BEGINS:

PHASE 1

1. INSTALL CONSTRUCTION ENTRANCE OFF THOMAS JEFFERSON HWY (RTE 53) AND INSTALL CULVERT AT THE ENTRANCE TO THE PROPERTY AND BEGIN SITE WORK. TRUCKS SHALL BE CLEANED PRIOR TO LEAVING SITE.
2. CLEAR PATH AND INSTALL SILT FENCE, SEDIMENT TRAP, SEDIMENT BASIN B & C.
3. CONTACT THE ENGINEER AND FLUVANNA COUNTY FOR INSPECTION AND APPROVAL OF ALL E&S CONTROL MEASURES.

PHASE 2

4. UPON APPROVAL OF E&S CONTROL MEASURES, BEGIN SITE WORK.
5. MAINTAIN PERIMETER CONTROLS, SEDIMENT TRAP AND SEDIMENT BASINS UNTIL AREA HAS ACHIEVED STABILIZATION.
6. AS AREAS ARE BROUGHT TO GRADE, APPLY MULCHING, TEMPORARY SEEDING AND PERMANENT SEEDING AS SHOWN ON SHEET C18 & C19.
7. ADJUST SEDIMENT TRAP A, SEDIMENT BASIN B & C AND THEIR DIVERSIONS AS SHOWN ON THIS PHASE.

PHASE 3

1. ESTABLISH AND MAINTAIN PERMANENT STABILIZATION, INCLUDING VEGETATION OF ALL SLOPES AND GRASSED AREAS.
2. BEGIN CONSTRUCTION OF THE ROADS, BUILDING, TRAVELWAY, PONDS, RETAINING WALL AND PARKING AREAS, EXCEPT IN THE SOUTH WEST CORNER ALL THE PARKING LOT UNTIL CONTRIBUTING DRAINAGE AREAS ARE STABILIZED.
3. ONCE SITE HAS REACHED STABILIZATION, REMOVE PERIMETER CONTROLS AND REMOVE THE TEMPORARY PIPE THAT WAS LOCATED ON SEDIMENT BASIN B.
4. CLEAN OUT ALL SEDIMENT BUILD-UP.
5. CONTACT COUNTY INSPECTOR AND DESIGN ENGINEER FOR INSPECTION BEFORE DEWATERING BASINS TO CONVERT TO PERMANENT CONFIGURATION (POND). DRAINAGE AREA MUST BE STABILIZED.
6. MAINTAIN ALL E&S CONTROL MEASURES, UNTIL FINAL INSPECTION.

CONSTRUCTION MAINTENANCE

THE FOLLOWING CONSTRUCTION MAINTENANCE PRACTICES SHALL BE FOLLOWED AT THE SITE.

1. ALL E&S CONTROL MEASURES WILL BE CHECKED DAILY AND AFTER EACH SIGNIFICANT STORM. ANY DAMAGE IDENTIFIED DURING THESE INSPECTIONS SHALL BE CORRECTED AS SOON AS PRACTICABLE.
2. THE SILT FENCE BARRIER SHALL BE REGULARLY CHECKED FOR UNDERMINING, DEGRADATION OR SIGNIFICANT EROSION. SEDIMENT SHALL BE REMOVED AFTER EACH STORM EVENT AND WHEN THE LEVEL OF SEDIMENT DEPOSITION REACHES HALF THE HEIGHT OF THE CONTROL.
3. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL MAINTENANCE REQUIREMENTS SET FORTH IN THE CURRENT EDITION OF THE VIRGINIA SEDIMENT AND EROSION CONTROL MANUAL, OTHER APPLICABLE COMMONWEALTH OF VIRGINIA REGULATIONS AND THE PROJECT SPECIFICATIONS.

4. ALL SEEDED AREAS WILL BE REGULARLY CHECKED TO ENSURE THAT A GOOD STAND OF GRASS IS MAINTAINED.
5. AREAS WITH RIP-RAP SHOULD BE REGULARLY INSPECTED TO DETERMINE IF HIGH FLOWS HAVE DAMAGED THESE CONTROLS OR CAUSED EXCESSIVE SEDIMENT DEPOSITION. ALL AREAS SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS E&S CONTROL PLAN.

GENERAL NOTES

1. THE INFORMATION AND DATA SHOWN OR INDICATED WITH RESPECT TO THE EXISTING UNDERGROUND UTILITIES AT OR CONTIGUOUS TO THE SITE ARE BASED ON INFORMATION AND DATA FURNISHED TO THE OWNER AND ENGINEER BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR OTHERS. THE OWNER OR ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR CONFIRMING THE ACCURACY OF THE DATA, FOR LOCATING ALL UNDERGROUND UTILITIES, FOR COORDINATION OF THE WORK WITH OWNERS OF SUCH UNDERGROUND UTILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF AND REPAIRING ANY DAMAGE THEREOF RESULTING FROM THE WORK. ALL OF THESE CONDITIONS SHALL BE MET AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL CONTACT "MISS UTILITIES" OF VIRGINIA AT 1-800-552-7701 PRIOR TO THE START OF WORK.
2. WHEN WORKING ADJACENT TO EXISTING STRUCTURES, POLES, UTILITIES, ETC., THE CONTRACTOR SHALL USE WHATEVER METHODS THAT ARE NECESSARY TO PROTECT STRUCTURES FROM DAMAGE. ANY DAMAGE CAUSED BY THE CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO REPAIR OR REPLACE. THIS EXPENSE IS THE CONTRACTOR'S RESPONSIBILITY.

3. REPLACEMENT OR REPAIR OF DAMAGED STRUCTURES SHALL BE AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE STRUCTURES FROM DAMAGE AND COORDINATING WORK SO THAT THE OWNER CAN MAKE NECESSARY ARRANGEMENTS TO MODIFY/PROTECT EXISTING STRUCTURES FROM DAMAGES.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY OWNERS, ADJACENT LAND OWNERS WHOSE PROPERTY MAY BE IMPACTED AND THE VIRGINIA DEPARTMENT OF TRANSPORTATION PRIOR TO COMPLETING ANY OFF-SITE WORK.
6. CONTRACTOR SHALL NOTIFY AND COORDINATE ALL WORK INVOLVING EXISTING UTILITIES WITH UTILITY OWNERS, AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.

7. ALL EXCAVATION FOR UNDERGROUND PIPE INSTALLATION MUST COMPLY WITH OSHA STANDARDS FOR THE CONSTRUCTION INDUSTRY (29 CFR PART 1926).

8. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL BOUNDARIES, BUILDINGS, VEGETATION, AND OTHER PERTINENT SITE ELEMENTS. CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS TO THE OWNER AND ENGINEER.

9. CONTRACTOR SHALL SUBMIT FOR THE APPROVAL OF THE OWNER SUBMITTALS OF ALL SPECIFIED MATERIALS LISTED IN THE PLANS, TO INCLUDE SHOP DRAWINGS, MANUFACTURER'S SPECIFICATIONS AND LABORATORY REPORTS. THE OWNER'S APPROVAL OF SUBMITTALS WILL BE GENERAL AND WILL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF ADHERENCE TO THE CONTRACT AND FOR ANY ERROR THAT MAY EXIST.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY PERMITS, INSPECTIONS, BONDS, AND OTHER RELATED ITEMS IN ACCORDANCE WITH LOCAL AND STATE POLICY.

EROSION & SEDIMENT CONTROL NOTES:

1. ALL VEGETATIVE AND STRUCTURAL EROSION & SEDIMENT CONTROL (E&S) PRACTICES WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATION 9VAC25-840-40.

2. THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO COMMENCEMENT OF LAND DISTURBING ACTIVITY AND ONE WEEK PRIOR TO FINAL INSPECTION. THIS REQUIREMENT CAN BE WAIVED AT THE DISCRETION OF THE PLAN APPROVING AUTHORITY.

3. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.

4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ONSITE AT ALL TIMES.

5. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION AND SEDIMENT CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN REVIEWING AUTHORITY.

6. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN REVIEWING AUTHORITY.

7. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.

8. DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED FILTERING DEWATER.

9. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUN-OFF PRODUCING STORM EVENT, ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

10. INSTALL AND MAINTAIN CONSTRUCTION ENTRANCES FOR ENTIRE PROJECT AT ALL LOCATIONS WHERE VEHICLES ENTER/LEAVE THE WORK AREA AND WHERE SOIL IS STOCKPILED.

11. MAINTAIN ALL EROSION AND SEDIMENT CONTROL UNTIL THE COMPLETION OF FINAL STABILIZATION, UNLESS OTHERWISE NOTED ON THE PLANS. REMOVE ALL EROSION & SEDIMENT CONTROLS FOLLOWING THE ESTABLISHMENT OF A PERMANENT VEGETATIVE COVER AND COMPLETION OF FINAL STABILIZATION.

STORMWATER MANAGEMENT:
THE DEVELOPMENT PROPERTY HAS AN AREA OF 6.35 ACRES AND THE DEVELOPMENT WILL DISTURB AN AREA OF 6.15 ACRES. THE PROPOSED STORMWATER DESIGN MEETS WATER QUALITY REQUIREMENTS SET FORTH IN 9VAC25-870-65 AND WATER QUANTITY REQUIREMENTS SET FORTH IN 9VAC25-870-66-B (1) b & 9VAC25-870-66-C (2) b.

SWM QUANTITY
THE REQUIREMENTS FOR STORMWATER QUANTITY ARE SATISFIED BY ANALYZING CONCENTRATED RUNOFF FROM THE DEVELOPMENT TO THE THREE POINTS, LABELED POA A, POA B & POA C. THE PROPOSED STORMWATER DESIGN MEETS WATER QUANTITY REQUIREMENTS SET FORTH IN 9VAC25-870-66-B (1) b & 9VAC25-870-66-B (3) a & 9VAC25-870-66-C (2) b.

CHANNEL PROTECTION (EBE)

AT SITE POA A,B AND C, SINCE THERE IS OFFSITE RUNON WHICH CANNOT BE IGNORED AND MIXES WITH THE ONSITE RUNON IN THE PROPOSED STORMWATER MANAGEMENT (SWM) SYSTEM, THE ENERGY BALANCE EQUATION (EBE) COMPLIANCE IS ANALYZED BY THE ENERGY BALANCE AND RUN-ON METHOD.

THE DRAINAGE AREA FOR THE SITE POA A, IS LOCATED AT A MANMADE CHANNEL AT THE NORTH-EAST CORNER OF THE PROPERTY. THE DRAINAGE AREA TO POA WAS ANALYZED AND FOUND TO BE IN COMPLIANCE WITH THE CHANNEL PROTECTION REQUIREMENTS 9VAC25-870-66-B (1) b. CALCULATIONS SHOW THAT THE ENERGY BALANCE EQUATION IS MET.

THE DRAINAGE AREA FOR POA B & POA C ARE COMPLIANT WITH 9VAC25-870-66-B (3) a. REQUIRES THAT THE CONCENTRATED RUNOFF THE DEVELOPMENT MEET THE ENERGY BALANCE EQUATION AT THE POA. TO ACHIEVE THIS AT SITE POA C, CONCENTRATED RUNOFF FROM THE DISTURBED SITE WILL BE ROUTED TO A DETENTION POND. THE CALCULATIONS SHOW THAT THE ENERGY BALANCE EQUATION IS MET.

WHEN THE ENERGY BALANCE EQUATION IS BEING USED TO DETERMINE THE ALLOWABLE DISCHARGE, THE IMPROVEMENT FACTOR WOULD NEED ONLY BE APPLIED TO THE SITE AS PER THE REGULATORY LANGUAGE OF 9VAC25-870.65 B.3.A. IN THIS CASE, THE APPLICATION OF ENERGY BALANCE TO THE DISCHARGE FROM THE SITE WOULD BE CALCULATED AS FOLLOWS:

$$Q_{1 Post} \leq Q_{1 Pre,site} \left(\frac{RV_{Pre,site}}{RV_{Post,site}} \right) (IF) + Q_{1 Pre,offsite} \left(\frac{RV_{Pre,offsite}}{RV_{Post,offsite}} \right)$$

Table 1 : Energy Balance Equation Summary		
	$Q_{1 Pre,site} (cfs)$	$Q_{1 Post,site} (cfs)$
POA A	0.42	0.42
POA B	2.99	2.97
POA C	0.35	0.30

FLOOD PROTECTION REQUIREMENTS

TO MEET FLOOD PROTECTION REQUIREMENTS, ALL POST-DEVELOPMENT RUNOFF IS RELEASED TO NATURAL CHANNELS PRONE TO FLOODING AT PEAK FLOW RATES THAT ARE LESS THAN THE PRE-DEVELOPMENT PEAK FLOW RATES, IN COMPLIANCE WITH 9VAC25-870-66-C.2.B.

Table 2 : Flooding Summary		
	10 yr. Pre (cfs)	10 yr. Post (cfs)
POA A	3.78	3.71
POA B	17.34	15.53
POA C	7.80	2.83

BIORETENTION FILTER COORDINATES:

BIORETENTION FILTER A: (37.905533, -78.344876)

DETENTION BASIN COORDINATES:

POND B: (37.905802, -78.343666)

POND C: (37.906856, -78.341952)

SWM QUALITY

SWM QUALITY IS SATISFIED BY PROVIDING REQUIRED NUTRIENT TREATMENT FOR THE DEVELOPMENT, 9VAC25-870-65 REQUIRES THAT THE TOTAL PHOSPHOROUS (TP) NUTRIENT REDUCTION REQUIRED BY THE SITE DEVELOPMENT BE TREATED IN ACCORDANCE WITH THE VRRM NEW DEVELOPMENT SPREADSHEET REDUCTION REQUIREMENTS.

PER THE VRRM NEW DEVELOPMENT SPREADSHEET, THE TOTAL TP REDUCTION REQUIRED FOR THE SITE IS 6.20 LBS./YR., TO SATISFY THIS REQUIREMENT, 6.20 LBS./YR NUTRIENT CREDITS WILL BE PURCHASED FROM AN APPROVED NUTRIENT BANK.

ACHIEVE ONSITE TREATMENT FROM BIORETENTION FILTER=0.43 LB/YR

REQUIRED TOTAL TREATMENT= 6.63 LB/YR

REMAINING NUTRIENT CREDIT TREATMENT= 6.20 LB/YR

MINIMUM STANDARDS (MNS):

ALL APPLICABLE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS AND MINIMUM STANDARDS SHALL BE ADHERED TO DURING ALL PHASES OF CONSTRUCTION. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

1. STABILIZATION OF DENUDED AREAS:
PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO BARE AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT OR UNDISTURBED FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED AT AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN 1 YEAR.

2. STABILIZATION OF SOIL STOCKPILES:
DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.

3. PERMANENT VEGETATIVE COVER:
A. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVE THAT, IN THE OPINION OF THE COUNTY INSPECTOR, IS UNIFORM AND MATURE ENOUGH TO SURVIVE TO INHIBIT EROSION.

4. TIMING & STABILIZATION OF SILT TRAPPING MEASURES:
SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.

5. STABILIZATION OF EARTHEN STRUCTURES:
STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.

6. SEDIMENT TRAPS AND BASINS:
A. SEDIMENT BASIN SHALL CONTROL SURFACE RUNOFF FROM DISTURBED AREAS THAT IS IMPROVED OF FLOW FROM DRAINAGE AREAS GREATER THAN OR EQUAL TO THREE ACRES. THE SEDIMENT BASIN SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE THE ANTICIPATED SEDIMENT LOADING FOR THE LAND DISTURBING ACTIVITY. THE OUTFALL DEVICE OR SYSTEM DESIGN SHALL TAKE INTO ACCOUNT THE TOTAL DRAINAGE AREA FLOWING THROUGH THE DISTURBED AREA TO BE SERVED BY THE BASIN.

7. CUT AND FILL SLOPES:
CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SOLE STABILIZATION MEASURES.

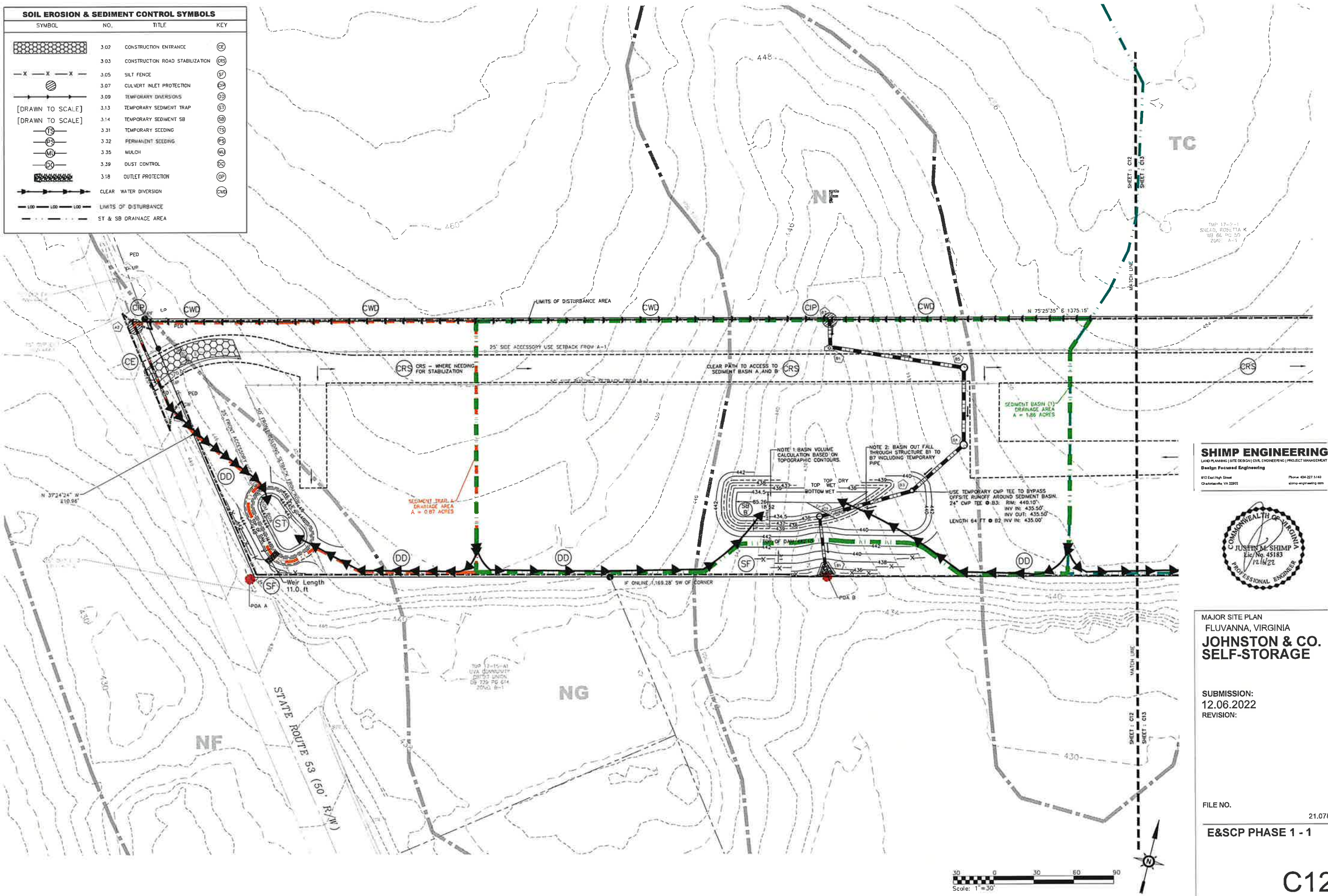
8. CONCENTRATED RUN-OFF DOWN CUT OR FILL SLOPES:
ALL CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, OR SLOPE DRAIN STRUCTURE.

9. WATER SEEPS FROM A SLOPE FACE:
WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.

10. STORM SEWER INLET PROTECTION:
ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.

11. STABILIZATION OF OUTLETS

SOIL EROSION & SEDIMENT CONTROL SYMBOLS			
SYMBOL	NO.	TITLE	KEY
	3.02	CONSTRUCTION ENTRANCE	CE
	3.03	CONSTRUCTION ROAD STABILIZATION	CRS
	3.05	SILT FENCE	SF
	3.07	CULVERT INLET PROTECTION	CIP
	3.09	TEMPORARY DIVERSION	DD
	3.13	TEMPORARY SEDIMENT TRAP	ST
	3.14	TEMPORARY SEDIMENT SB	SB
	3.31	TEMPORARY SEEDING	TS
	3.32	PERMANENT SEEDING	PS
	3.35	MULCH	ML
	3.39	DUST CONTROL	DC
	3.18	OUTLET PROTECTION	OP
		CLEAR WATER DIVERSION	CWD
		LIMITS OF DISTURBANCE	
		ST & SB DRAINAGE AREA	



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MAJOR SITE PLAN
 FLUVANNA, VIRGINIA
**JOHNSTON & CO.
 SELF-STORAGE**

SUBMISSION:
 12.06.2022
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E&SCP PHASE 1 - 1

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SOIL EROSION & SEDIMENT CONTROL SYMBOLS			
SYMBOL	NO.	TITLE	KEY
	3.02	CONSTRUCTION ENTRANCE	CE
	3.03	CONSTRUCTION ROAD STABILIZATION	CRS
	3.05	SILT FENCE	SF
	3.07	CULVERT INLET PROTECTION	CIP
	3.09	TEMPORARY DIVERSIONS	TD
	3.13	TEMPORARY SEDIMENT TRAP	ST
	3.14	TEMPORARY SEDIMENT SB	SB
	3.31	TEMPORARY SEEDING	TS
	3.32	PERMANENT SEEDING	PS
	3.35	MULCH	ML
	3.39	DUST CONTROL	DC
	3.18	OUTLET PROTECTION	OP
		CLEAR WATER DIVERSION	CWD
		LIMITS OF DISTURBANCE	
		ST & SB DRAINAGE AREA	

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Design Focused Engineering
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Charlottesville, VA 22902
Phone: 804.527.9148
shimp-engineering.com



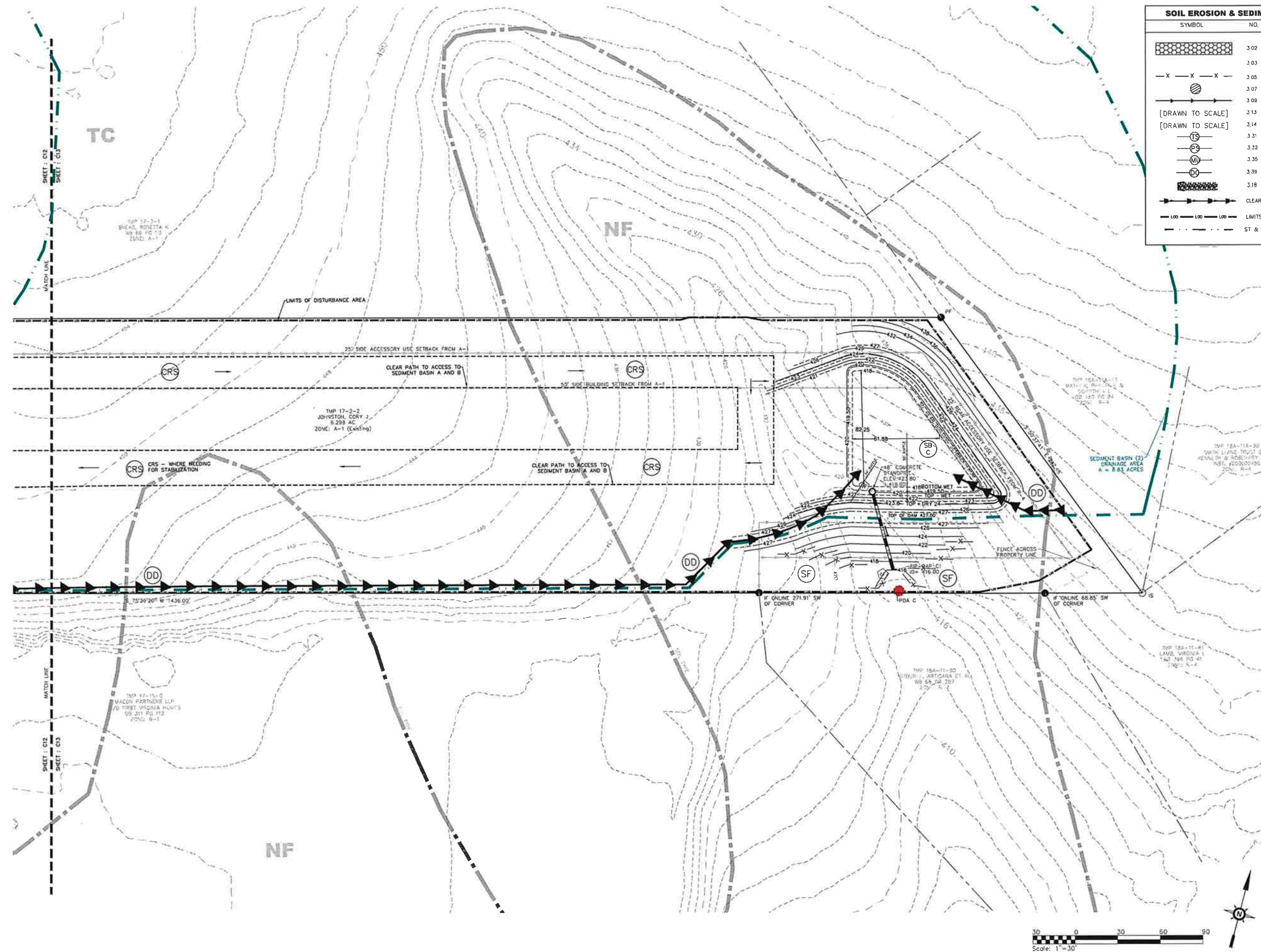
MAJOR SITE PLAN
FLUVANNA, VIRGINIA
**JOHNSTON & CO.
SELF-STORAGE**

SUBMISSION:
12.06.2022
REVISION:

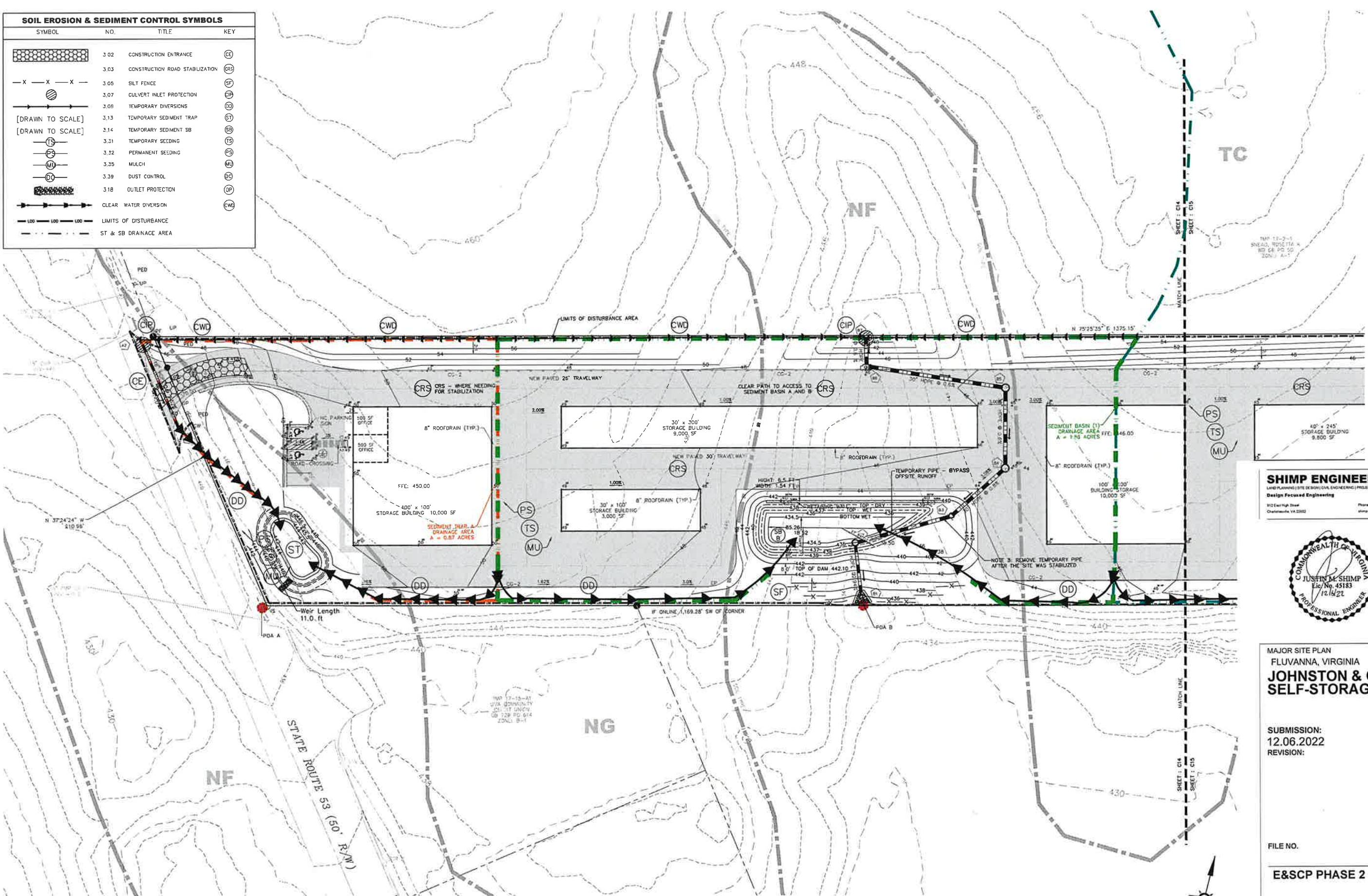
FILE NO. 21.078

E&SCP PHASE 1 - 2

C13



SOIL EROSION & SEDIMENT CONTROL SYMBOLS			
SYMBOL	NO.	TITLE	KEY
	3.02	CONSTRUCTION ENTRANCE	CE
	3.03	CONSTRUCTION ROAD STABILIZATION	CRS
	3.05	SILT FENCE	SF
	3.07	CULVERT INLET PROTECTION	CIP
	3.09	TEMPORARY DIVERSIONS	TD
	3.13	TEMPORARY SEDIMENT TRAP	ST
	3.14	TEMPORARY SEDIMENT SB	SB
	3.31	TEMPORARY SEEDING	TS
	3.32	PERMANENT SEEDING	PS
	3.35	MULCH	MU
	3.39	DUST CONTROL	DD
	3.18	OUTLET PROTECTION	OP
		CLEAR WATER DIVERSION	CWD
		LIMITS OF DISTURBANCE	
		ST & SB DRAINAGE AREA	



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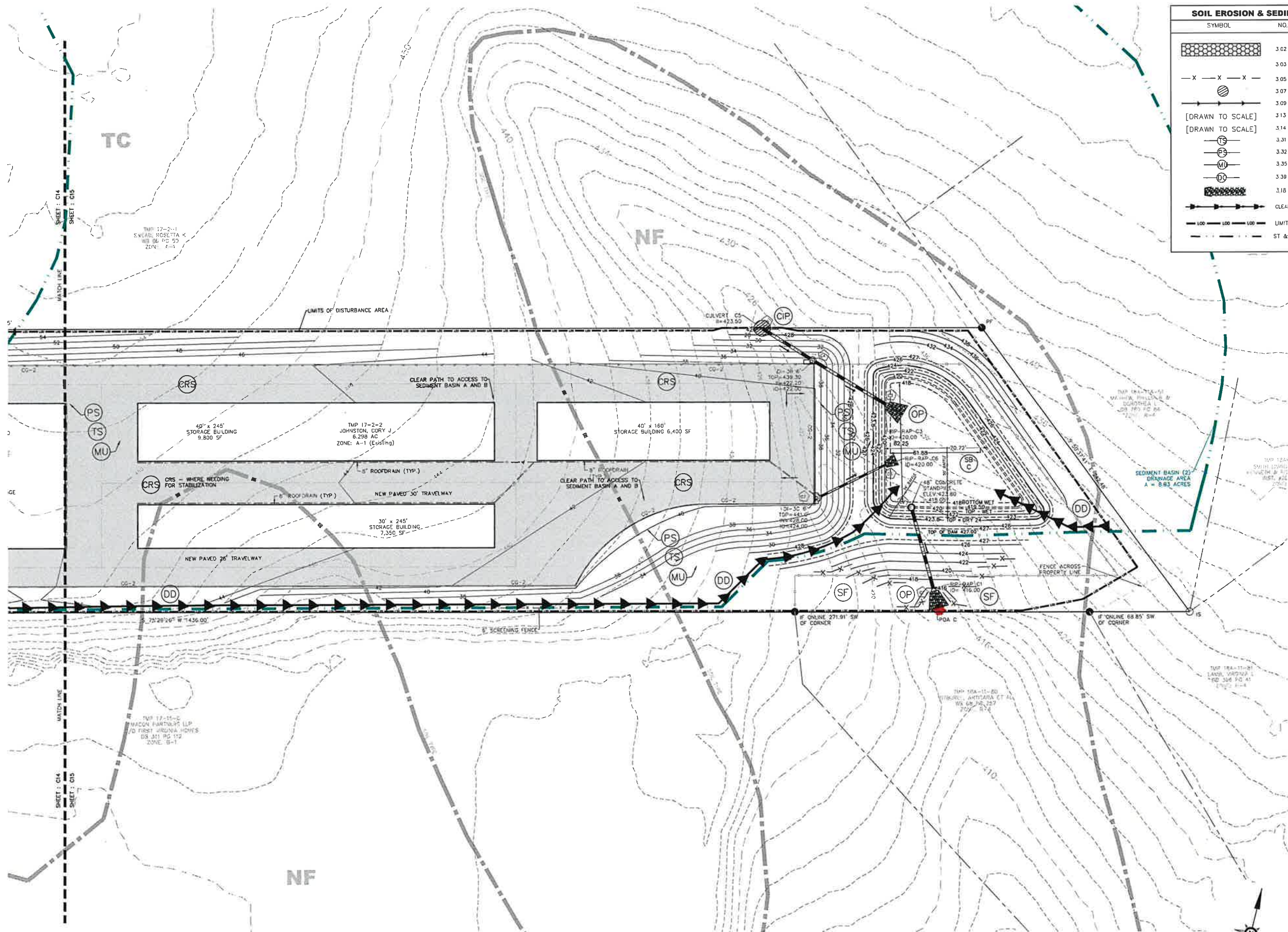
SUBMISSION:
 12.06.2022
 REVISION:

FILE NO. 21.078

E&SCP PHASE 2 - 1



C14



SOIL EROSION & SEDIMENT CONTROL SYMBOLS			
SYMBOL	NO.	TITLE	KEY
	3.02	CONSTRUCTION ENTRANCE	CE
	3.03	CONSTRUCTION ROAD STABILIZATION	CRS
	3.05	SILT FENCE	SF
	3.07	CULVERT INLET PROTECTION	CIP
	3.09	TEMPORARY DIVERSIONS	SD
	3.13	TEMPORARY SEDIMENT TRAP	ST
	3.14	TEMPORARY SEDIMENT SB	SB
	3.31	TEMPORARY SEEDING	TS
	3.32	PERMANENT SEEDING	PS
	3.35	MULCH	MU
	3.39	DUST CONTROL	DC
	3.16	OUTLET PROTECTION	OP
		CLEAR WATER DIVERSION	CWD
		LIMITS OF DISTURBANCE	
		ST & SB DRAINAGE AREA	

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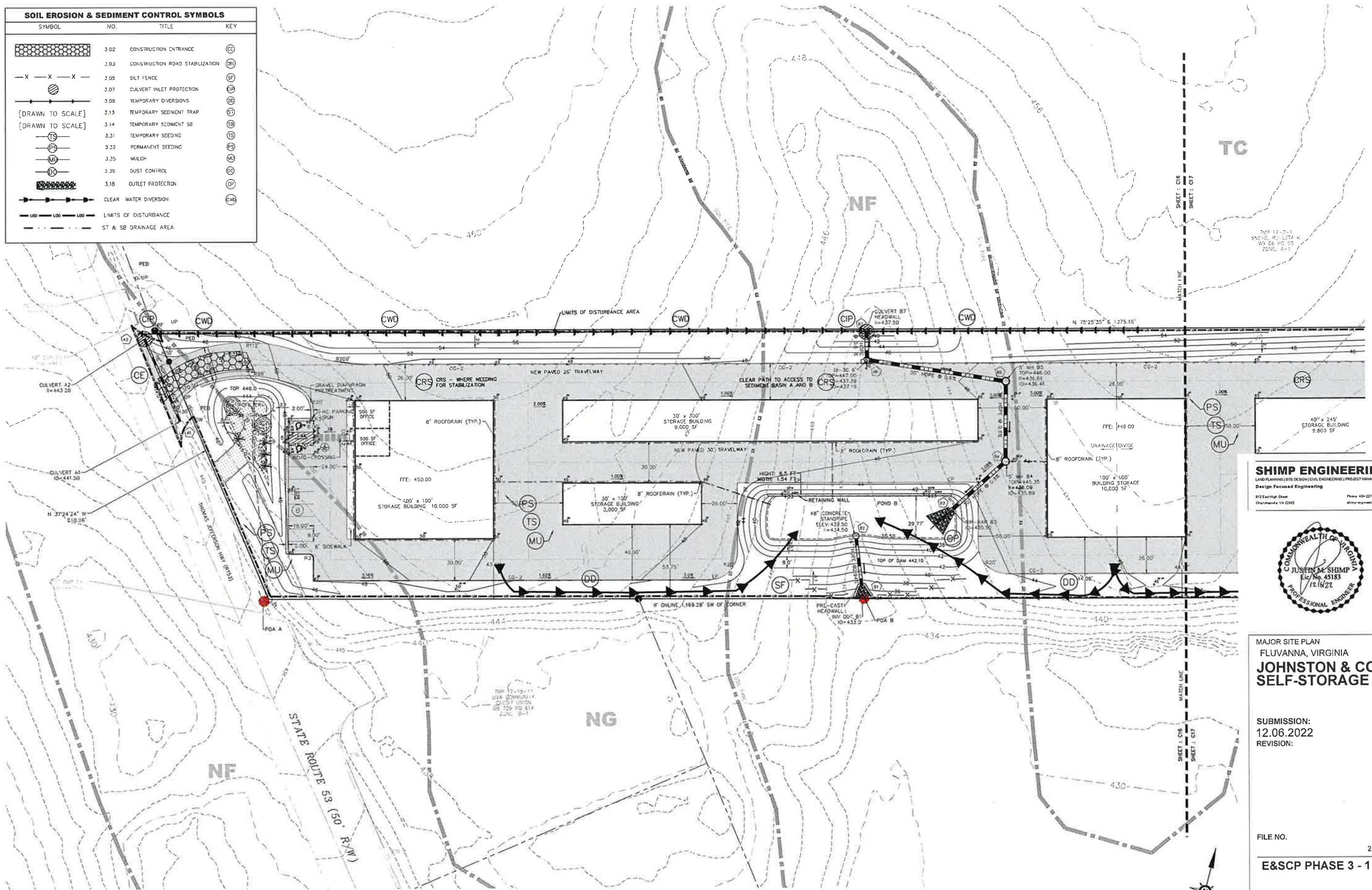
MAJOR SITE PLAN
FLUVANNA, VIRGINIA
**JOHNSTON & CO.
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SUBMISSION:
12.06.2022
REVISION:

FILE NO. 21.078
E&SCP PHASE 2 - 2



SOIL EROSION & SEDIMENT CONTROL SYMBOLS			
SYMBOL	NO.	TITLE	KEY
	3.02	CONSTRUCTION ENTRANCE	CE
	3.03	CONSTRUCTION ROAD STABILIZATION	CRS
	3.05	SILT FENCE	SF
	3.07	CULVERT INLET PROTECTION	CIP
	3.09	TEMPORARY DIVERSIONS	DD
	3.13	TEMPORARY SEDIMENT TRAP	ST
	3.14	TEMPORARY SEDIMENT SE	SB
	3.31	TEMPORARY SEEDING	TS
	3.32	PERMANENT SEEDING	PS
	3.35	MULCH	MU
	3.39	DUST CONTROL	DC
	3.18	OUTLET PROTECTION	OP
		CLEAR WATER DIVERSION	CWD
		LIMITS OF DISTURBANCE	
		ST & SB DRAINAGE AREA	



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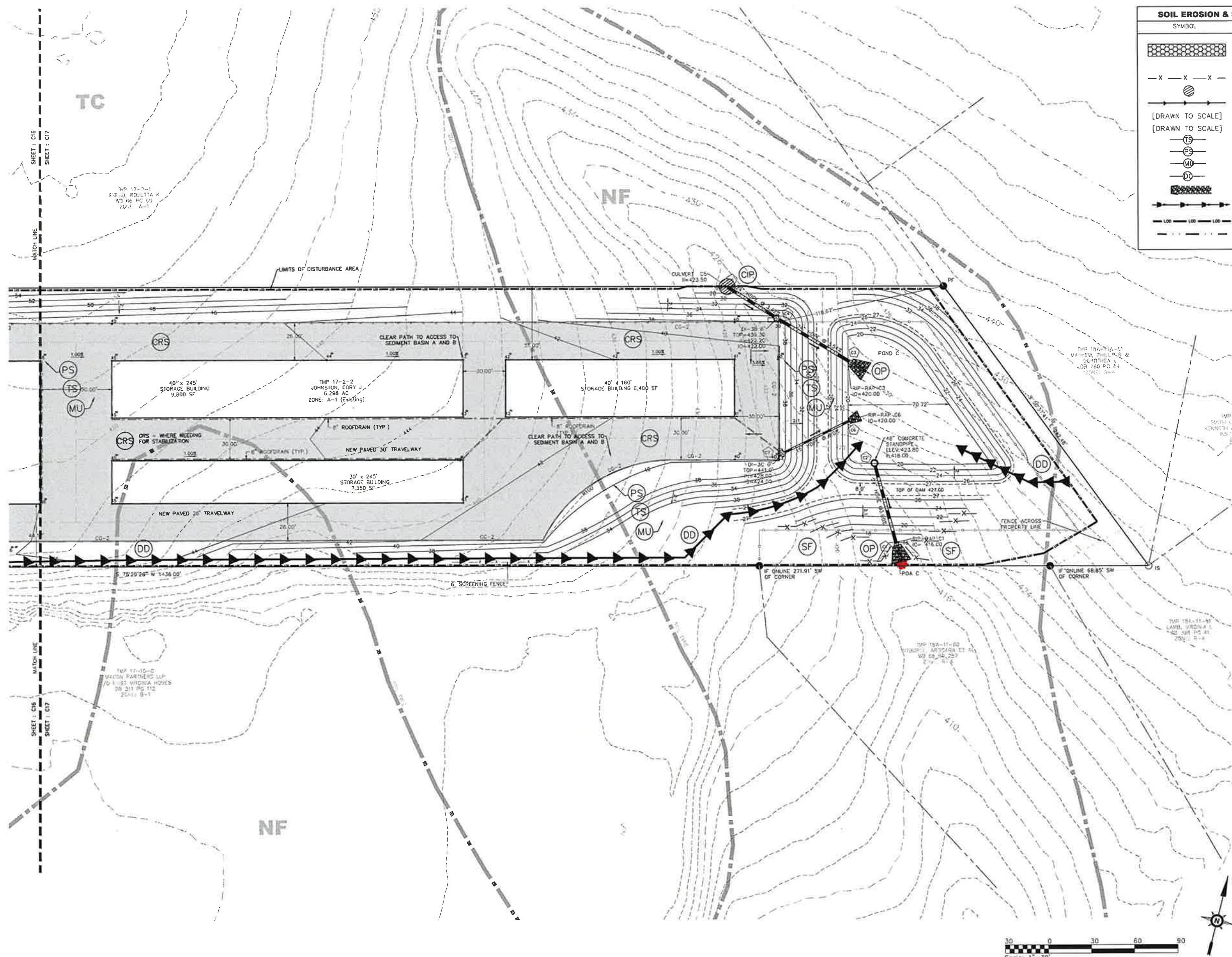


MAJOR SITE PLAN
 FLUVANNA, VIRGINIA
**JOHNSTON & CO.
 SELF-STORAGE**

SUBMISSION:
 12.06.2022
 REVISION:

FILE NO. 21.078
E&SCP PHASE 3 - 1

C16



SOIL EROSION & SEDIMENT CONTROL SYMBOLS			
SYMBOL	NO.	TITLE	KEY
	3.02	CONSTRUCTION ENTRANCE	CE
	3.03	CONSTRUCTION ROAD STABILIZATION	CRS
	3.05	SILT FENCE	SF
	3.07	CULVERT INLET PROTECTION	CIP
	3.09	TEMPORARY DIVERSIONS	TD
	3.13	TEMPORARY SEDIMENT TRAP	ST
	3.14	TEMPORARY SEDIMENT SB	SB
	3.31	TEMPORARY SEEDING	TS
	3.32	PERMANENT SEEDING	PS
	3.35	MULCH	MU
	3.39	DUST CONTROL	DC
	3.18	OUTLET PROTECTION	OP
		CLEAR WATER DIVERSION	CWD
		LIMITS OF DISTURBANCE	
		ST & SB DRAINAGE AREA	

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Charlottesville, VA 22902
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JOHNSTON & CO. SELF-STORAGE

SUBMISSION:
12.06.2022
REVISION:

FILE NO. 21.078

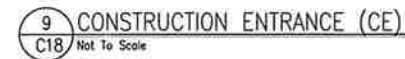
E&SCP PHASE 3 - 2



4 PERMANENT SEEDING (PS)
C18 Not To Scale



5 TEMPORARY SEEDING (TS)
C18 Not To Scale

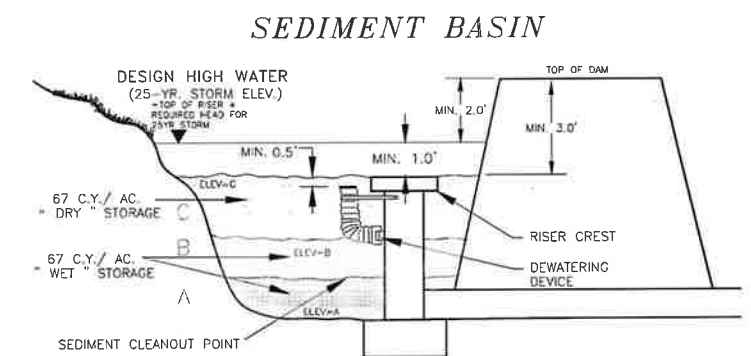
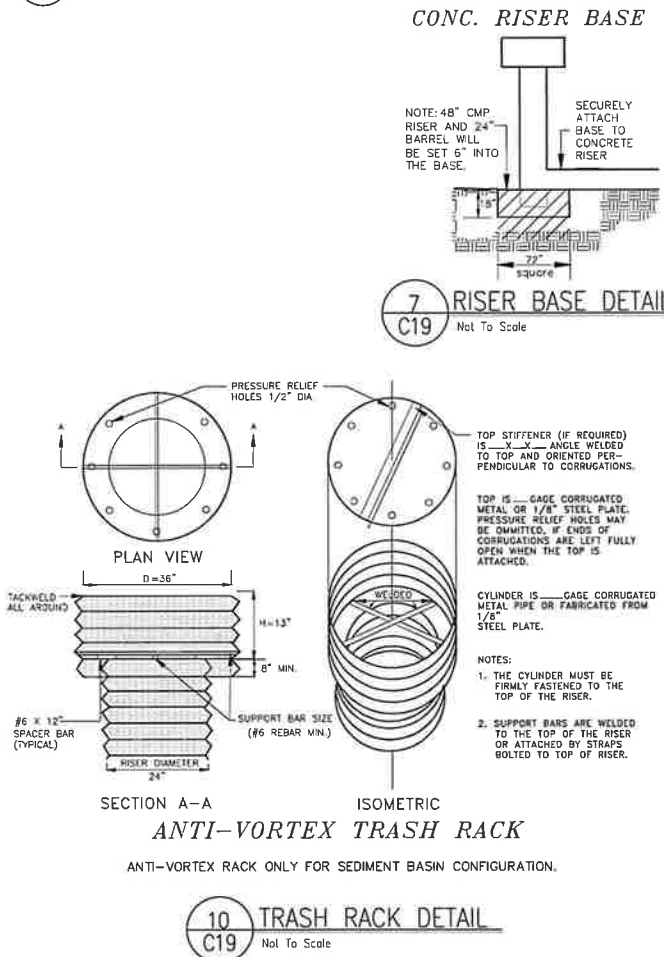
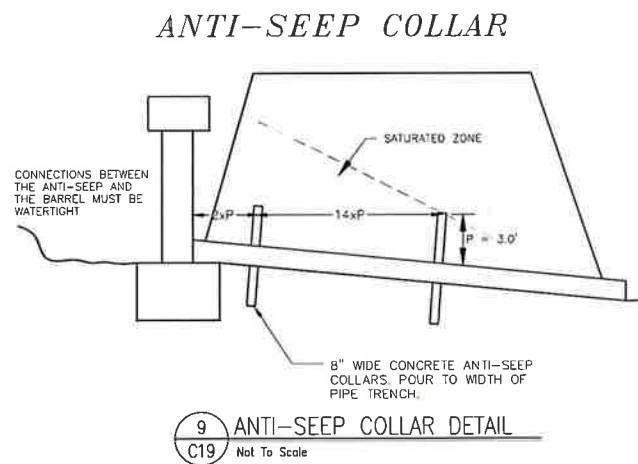
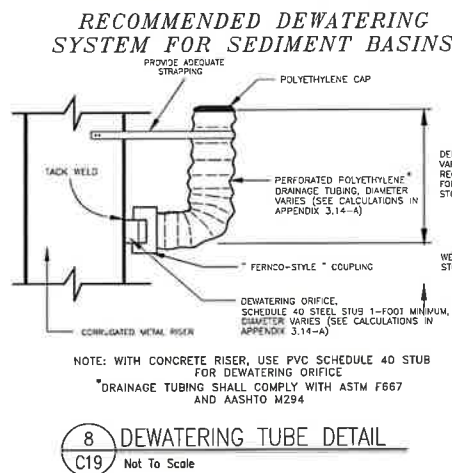
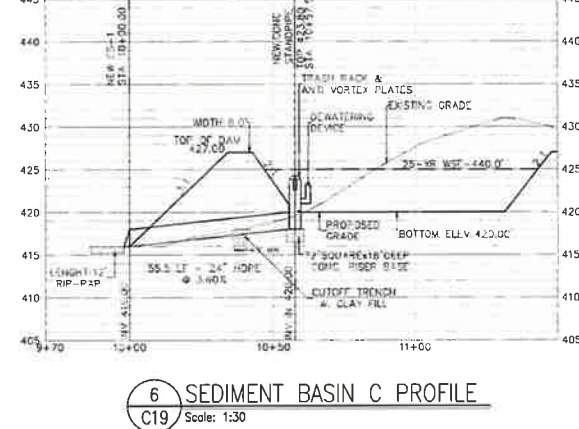
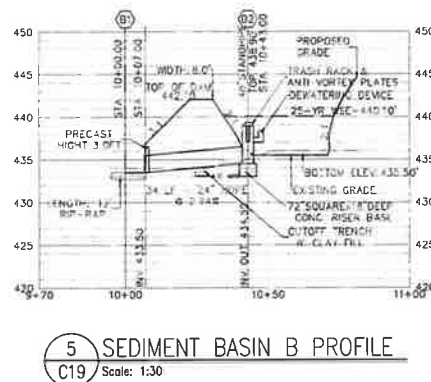
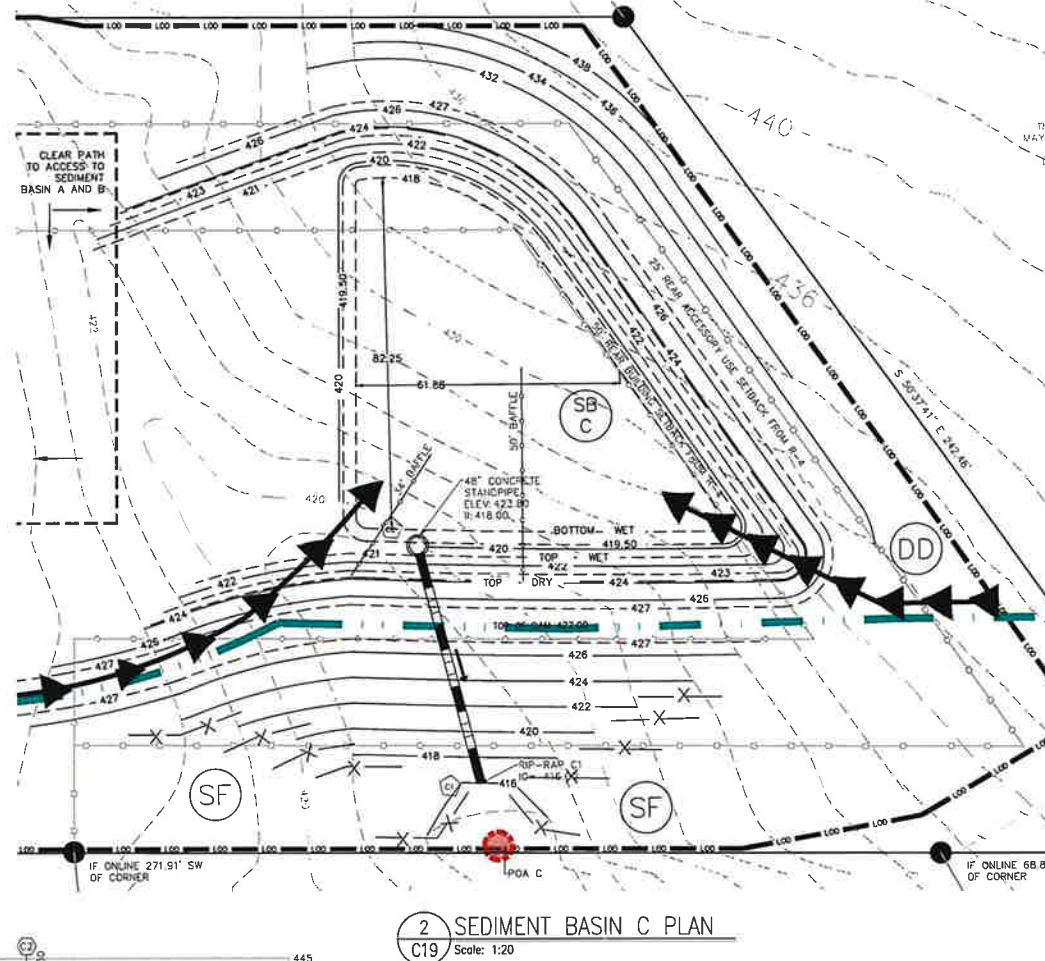
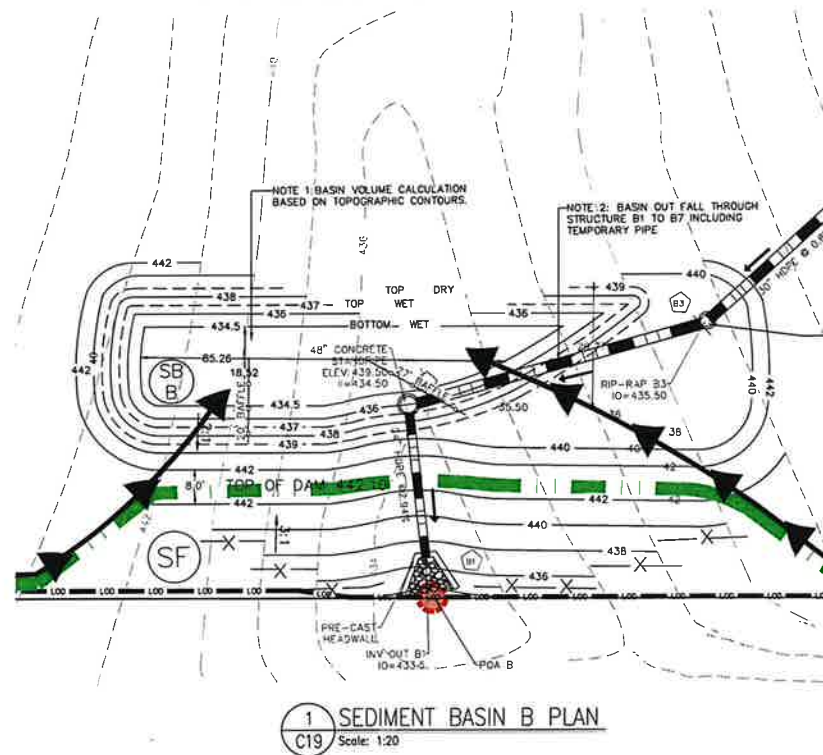


2 TEMPORARY SEDIMENT TRAP (ST)
C18 Not To Scale

Source: Va. DSWC

E&SCP DETAILS-1

NOTE: BASIN VOLUMES DESIGNED FOR BOTH CONDITIONS. SUFFICIENT VOLUME (PHASE 1 & 2) PROVIDED FOR BOTH.



DESIGN ELEVATIONS WITHOUT EMERGENCY SPILLWAY

Basin Number	A	B	C	Riser Rm Elev.	DA (Acs.)	Wet Vol. (Req.)	Wet Vol. Cy (Prov.)	Dry Vol. (Req.)	Dry Vol. Cy (Prov.)	25 yr WSE
B	434.5	437.0	438.9	438.9	1.86	124.62	189.37	124.62	225.59	440.10
C	418.0	421.0	423.8	423.8	8.83	591.61	635.21	591.61	802.63	425.00

3 SEDIMENT BASIN DETAIL
C19 Not To Scale

Table A-1: Embankment Top Widths	
Total Height of Embankment (ft.)	Minimum Top Width (ft.)
14 or less	8
15-19	10
20-24	12
25 or more	15

8' PROVIDED

4 EMBANKMENT TOP WIDTHS
C19 Not To Scale

TABLE 11.4-D CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE DESIGN TABLE					
Riser Diam., in.	Cylinder Diameter, inches	Thickness, gage	Height, inches	Minimum Size Support Bar	Minimum Top Thickness
12	18	16	6	#6 Rebar or 1 1/4 x 3/16 angle	16 ga. (F&C)
15	21	16	9	"	"
18	24	16	8	"	"
21	30	16	11	"	16 ga.(C), 14 ga.(F)
24	36	16	13	"	"
27	42	16	15	"	"
36	54	16	17	#8 Rebar	14 ga.(C), 12 ga.(F)
42	60	16	19	"	"
48	72	16	21	1 1/4" pipe or 1 1/4 x 3/16 angle	14 ga.(C), 10 ga.(F)
54	78	16	25	"	"
60	90	14	29	1 1/4" pipe or 1 1/4 x 3/16 angle	12 ga.(C), 8 ga.(F)
66	96	14	33	2" pipe or 2 x 2 x 3/16 angle	12 ga.(C), 8 ga.(F) w/stiffener
72	102	14	36	"	"
78	114	14	39	2 1/4" pipe or 2 x 2 x 3/8 angle	"
84	120	12	42	2 1/4" pipe or 2 1/4 x 3/8 x 1/8 angle	2 1/4 x 2 1/4 x 5/16 angle

Notes: The criterion for sizing the cylinder is that the area between the inside of the cylinder and the outside of the riser is equal to or greater than the area inside the rack. Therefore, the above table is limited for use with concrete pipe racks.

Notes: Corrugation for 12"-36" pipe measures 24" x 1/4", for 42"-60" the corrugation measures 5" x 1" or 8" x 1".

Note: C = corrugated, F = flat.

Source: Adapted from USDA SCS and Carl N. Henshaw Drainage Products Information.

III - 104

11 TRASH RACK DESIGN TABLE
C19 Not To Scale

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MAJOR SITE PLAN
FLUVANNA, VIRGINIA
JOHNSTON & CO. SELF-STORAGE

SUBMISSION:
12.06.2022
REVISION:

FILE NO.

E&SCP DETAILS-2

21.078

C19



FOR IMMEDIATE RELEASE

Date: February 1, 2023

Contact: Sandy Shackelford, Planning and Transportation Director

Christine Jacobs, Executive Director

Thomas Jefferson Planning District Commission

sshackelford@tjpd.org; 979-422-4823

**THE THOMAS JEFFERSON PLANNING DISTRICT COMMISSION
WILL RECEIVE AN \$857,600 SAFE STREETS AND ROADS FOR ALL AWARD
FROM THE UNITED STATES DEPARTMENT OF TRANSPORTATION
TO DEVELOP A COMPREHENSIVE SAFETY ACTION PLAN**

Charlottesville, Virginia, February 1, 2023 – The Thomas Jefferson Planning District Commission (TJPDC) has been selected to receive an \$857,600 Safe Streets and Roads for All (SS4A) award from the United States Department of Transportation (U.S. DOT) to develop a Comprehensive Safety Action Plan for all jurisdictions in Region 10, which includes the Counties of Albemarle, Fluvanna, Greene, Louisa, and Nelson, and the City of Charlottesville.

The Bipartisan Infrastructure Law (BIL) established the new Safe Streets and Roads for All discretionary grant program to provide \$5 billion over five years for regional, local, and Tribal initiatives to make the nation's roadways safer for everyone. U.S. Transportation Secretary Pete Buttigieg announced more than \$800 million in grant awards for 510 projects in the first round of the program. The U.S. DOT awarded 473 action plan grants and 37 grants for implementation projects across the United States. Eighteen grants totaling \$7,060,814 were awarded in Virginia.

The TJPDC's comprehensive safety action plan will establish prioritized projects and strategies for each locality to effectively reduce roadway fatalities and serious injuries through consideration of policies and procedures, public education, and infrastructure investment. A regional approach promotes cross-jurisdictional communication, coordination, and planning to develop strategies that address site-specific and systemic safety concerns. Further, it will include safety considerations for all users in both the rural and urban localities.

The federal award amount will be matched by an additional \$214,400 in local contributions for an estimated total project cost of \$1,072,000. Additional technical assistance will be provided by the Virginia Department of Transportation. "The TJPDC is pleased to collaborate with our member jurisdictions to identify strategies to improve safety outcomes throughout the regional transportation system. We are excited to leverage federal funding to support the development of local priorities and to open opportunities for additional resources to address the identified needs," said Christine Jacobs, TJPDC Executive Director. "Safety is an ongoing priority in addressing transportation system needs. Through this grant award, the TJPDC continues its leadership in addressing critical regional priorities and is pleased to collaboratively develop this resource for the member governments," said TJPDC Chair, Ned Gallaway.

About the Thomas Jefferson Planning District Commission (TJPDC)

The TJPDC is a regional planning agency that offers a broad range of services in the areas of transportation, community development, housing, economic development, land-use/planning, environmental programming, as well as legislative services. The TJPDC serves the member governments within the Planning District, to include the City of Charlottesville and the Counties of Albemarle, Fluvanna, Greene, Louisa, and Nelson. The TJPDC currently houses the region's Metropolitan Planning Organization (MPO) and coordinates a wide variety of short-range and long-range urban and rural transportation, planning, environment, housing, and community development projects.

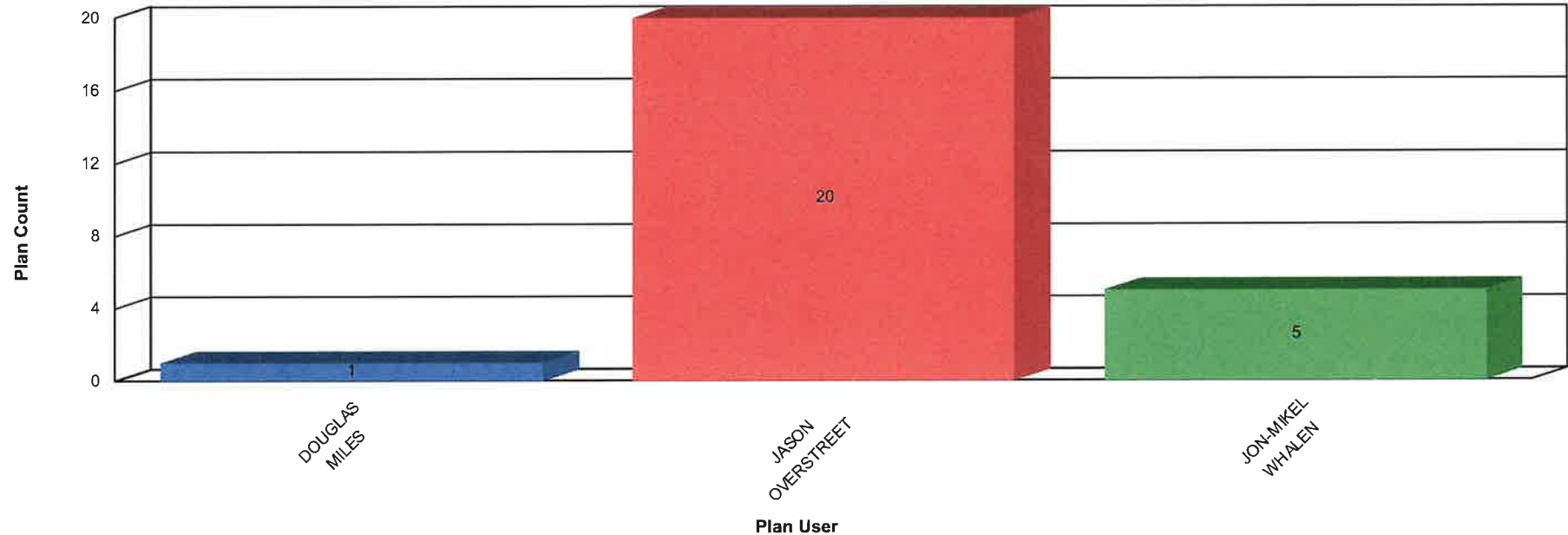
County of Fluvanna

Category	Year	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	TOTAL
BUILDING PERMITS ISSUED														
NEW - Single Family Detached (incl. Trades permits & SWMH)	2019	8	10	14	9	12	9	10	14	14	2	11	7	120
	2020	12	13	23	14	8	19	19	17	16	20	22	11	194
	2021	15	9	19	20	16	22	15	11	8	22	13	8	178
	2022	17	11	20	11	18	32	10	9	11	12	9	4	164
	2023	5												5
NEW - Single Family Attached (Town Homes)	2019	0	0	0	0	0	0	0	0	0	0	0	0	0
	2020	0	0	0	0	1	6	0	0	6	0	0	0	13
	2021	6	0	0	0	0	0	0	0	6	0	0	0	6
	2022	0	0	0	0	0	0	0	0	0	0	0	0	0
	2023	0	0	0	0	0	0	0	0	0	0	0	0	0
Multi Family (Apartment, Duplex)	2019	0	0	0	0	0	0	0	0	0	0	0	0	0
	2020	0	0	0	0	0	0	0	0	1	0	0	0	0
	2021	0	0	0	0	0	0	0	0	0	0	0	0	0
	2022	0	0	0	0	0	0	0	5	0	0	0	0	5
	2023	1	0	0	0	0	0	0	0	0	0	0	0	1
Additions and Alterations	2019	35	33	37	27	38	38	44	34	34	36	35	31	422
	2020	37	38	23	30	30	22	27	20	30	34	35	23	349
	2021	28	14	43	39	31	40	30	29	26	30	35	33	378
	2022	33	48	60	45	47	50	51	63	45	63	51	44	600
	2023	52	0	0	0	0	0	0	0	0	0	0	0	52
Accessory Buildings	* Trade permits count not in .													
	2019	2	4	6	4	4	3	3	8	2	8	4	4	52
	2020	2	4	4	4	5	5	1	7	8	3	5	1	49
	2021	1	3	3	6	3	6	1	3	2	4	4	2	38
	2022	3	4	13	6	5	2	5	4	5	3	0	2	52
2023	7	0	0	0	0	0	0	0	0	0	0	0	0	7
Swimming Pools	2019	0	0	0	3	2	2	0	1	0	1	0	1	10
	2020	0	1	3	3	1	2	3	1	1	0	0	0	15
	2021	0	0	7	1	5	2	3	4	1	0	1	2	26
	2022	0	2	4	4	1	0	3	3	0	0	0	0	17
	2023	1	0	0	0	0	0	0	0	0	0	0	0	1
Commercial/ Industrial Build/Cell Towers	2019	0	0	1	1	0	2	0	0	0	0	0	0	4
	2020	0	0	1	0	1	0	0	3	0	0	2	0	7
	2021	1	0	1	0	0	0	1	0	0	0	2	0	5
	2022	0	0	0	0	0	2	3	2	0	2	1	0	10
	2023	1	0	0	0	0	0	0	0	0	0	0	0	1
TOTAL BUILDING PERMITS	2019	45	47	58	44	56	54	57	57	50	48	50	43	609
	2020	51	56	54	51	46	54	50	48	63	57	54	40	624
	2021	51	26	73	66	55	70	50	47	37	56	55	45	631
	2022	54	65	97	66	71	86	72	77	61	80	61	50	840
	2023	67	0	0	0	0	0	0	0	0	0	0	0	67
* Trade permits count not included as in previous years														
BUILDING VALUES FOR PERMITS ISSUED														

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PLANS APPLIED BY USER (01/01/2023 TO 01/31/2023) FOR FLUVANNA COUNTY BUILDING AND PLANNING DEPARTMENT



Plan Case #	Type	Workclass	Status	Main Address	Project	District	Parcel
	Application Date Zone	Expiration Date Sq Ft	Complete Date Valuation	Approval Expire Date Fee Total	Applicant Assigned To		
DOUGLAS MILES							
SDP23:0001	Site Development Plan 01/26/2023	Site Development Plan - Major 03/12/2023 0	In Review \$0.00	3994 Shores Rd, Palmyra, VA 22963 \$1,100.00	Not Assigned Steven Peters Douglas Miles	Palmyra	8 A A14A2
Description: Colonial Circle Convenience Market							
PLANS APPLIED FOR DOUGLAS MILES:							1
JASON OVERSTREET							
SUB23:0001	Subdivision 01/05/2023	Subdivision - Family 02/19/2023 0	In Review \$0.00	3994 Shores Rd, Palmyra, VA 22963 \$350.00	Not Assigned Jason Overstreet	Fork Union	49 A 19
MSC23:0001	Miscellaneous 01/05/2023	Miscellaneous - Other	Approved		Not Assigned	Fork Union	48 8 2

PLANS APPLIED BY USER (01/01/2023 TO 01/31/2023)

Plan Case #	Type	Workclass	Status	Main Address	Project	District	Parcel
	Application Date	Expiration Date	Complete Date	Approval Expire Date	Applicant		
	Zone	Sq Ft	Valuation	Fee Total	Assigned To		
		0	\$0.00	\$0.00	Jason Overstreet		
	Description: Proposed New Home						
MSC23:0002	Miscellaneous	Miscellaneous - Other	Approved	2105 Rising Sun Rd, Palmyra, VA 22963	Not Assigned	Columbia	31 A 118
	01/06/2023						
		0	\$0.00	\$0.00	Jason Overstreet		
MSC23:0003	Miscellaneous	Miscellaneous - Other	Approved	2834 Venable Rd, Kents Store, VA 23084	Not Assigned	Columbia	22 A 94
	01/06/2023						
		0	\$0.00	\$0.00	Jason Overstreet		
MSC23:0004	Miscellaneous	Miscellaneous - Other	Approved	148 Two Rivers Dr, Troy, VA 22974	Not Assigned	Palmyra	9 9 27
	01/11/2023						
		0	\$0.00	\$0.00	Jason Overstreet		
SUB23:0002	Subdivision	Ordinance of Vacation	Approved	64 Winnsville Dr, Brema Bluff, VA 23022	Not Assigned	Fork Union	51 A 68
	01/11/2023	02/25/2023			Frank White		
		0	\$0.00	\$225.00	Jason Overstreet		
SUB23:0003	Subdivision	Boundary Adjustment	In Review	64 Winnsville Dr, Brema Bluff, VA 23022	Not Assigned	Fork Union	51 A 68
	01/11/2023	02/25/2023			Jonathan Elliott		
		0	\$0.00	\$100.00	Jason Overstreet		
MSC23:0005	Miscellaneous	Miscellaneous - Other	Approved		Not Assigned	Palmyra	8 13 138
	01/12/2023						
		0	\$0.00	\$0.00	Jason Overstreet		
	Description: New Home						
MSC23:0006	Miscellaneous	Miscellaneous - Other	Approved	1321 Paynes Mill Rd, Troy, VA 22974	Not Assigned	Palmyra	4 A 49A
	01/13/2023						
		0	\$0.00	\$0.00	Jason Overstreet		
MSC23:0007	Miscellaneous	Miscellaneous - Other	Approved	1266 Gold Mine Rd, Palmyra, VA 22963	Not Assigned	Fork Union	40 4 8
	01/23/2023						
		0	\$0.00	\$0.00	Jason Overstreet		
	Description: Swimming pool						
MSC23:0008	Miscellaneous	Miscellaneous - Other	Approved	353 Spring Rd, Brema Bluff, VA 23022	Not Assigned	Fork Union	59 A 35
	01/23/2023						
		0	\$0.00	\$0.00	Jason Overstreet		

PLANS APPLIED BY USER (01/01/2023 TO 01/31/2023)

Plan Case #	Type	Workclass	Status	Main Address	Project	District	Parcel
	Application Date	Expiration Date	Complete Date	Approval Expire Date	Applicant		
	Zone	Sq Ft	Valuation	Fee Total	Assigned To		
<i>Description: New Double wide</i>							
MSC23:0009	Miscellaneous	Miscellaneous - Other	Approved		Not Assigned	Columbia	54 8 1A
	01/23/2023	0	\$0.00	\$0.00	Jason Overstreet		
<i>Description: 28X68 Doublewide 2 4X6 decks (uncovered)</i>							
MSC23:0011	Miscellaneous	Miscellaneous - Other	Approved	340 Beaver Pond Rdg, Troy, VA 22974	Not Assigned	Palmyra	3 23 37
	01/23/2023	0	\$0.00	\$0.00	Jason Overstreet		
<i>Description: 36 X 36 - install barn with Tack Room, Wash rack and ? 12 X 36 overhangs</i>							
MSC23:0014	Miscellaneous	Miscellaneous - Other	Approved	3 Nahor Dr, Palmyra, VA 22963	Not Assigned	Rivanna	18A 8 206
	01/23/2023	0	\$0.00	\$0.00	Jason Overstreet		
<i>Description: New Screen porch & step down deck</i>							
SUB23:0005	Subdivision	Subdivision - Minor	In Review	2531 West River Rd, Scottsville, VA 24590	Not Assigned	Cunningham	37 A 30D
	01/23/2023	03/09/2023	\$0.00	\$550.00	Double H Farm Jason Overstreet		
<i>Description: Minor</i>							
SUB23:0004	Subdivision	Subdivision - Family	In Review	3607 Thomas Jefferson Pkwy, Palmyra, VA 22963	Not Assigned	Cunningham	18 A 13
	01/23/2023	03/09/2023	\$0.00	\$300.00	Jason Overstreet		
<i>Description: Giving Son Property</i>							
MSC23:0015	Miscellaneous	Miscellaneous - Other	Approved		Not Assigned	Columbia	32 A 9C
	01/24/2023	0	\$0.00	\$0.00	Jason Overstreet		
<i>Description: New Home</i>							
MSC23:0016	Miscellaneous	Miscellaneous - Other	Approved	2592 West Bottom Rd, Brema Bluff, VA 23022	Not Assigned	Fork Union	51 A 102
	01/24/2023	0	\$0.00	\$0.00	Jason Overstreet		
<i>Description: Replacing old home with new Duplex in same spot</i>							
MSC23:0017	Miscellaneous	Miscellaneous - Other	Approved	3109 Branch Rd, Scottsville, VA 24590	Not Assigned	Cunningham	17 A 45
	01/26/2023						

PLANS APPLIED BY USER (01/01/2023 TO 01/31/2023)

Plan Case #	Type	Workclass	Status	Main Address	Project	District	Parcel
	Application Date	Expiration Date	Complete Date	Approval Expire Date	Applicant		
	Zone	Sq Ft	Valuation	Fee Total	Assigned To		
		0	\$0.00	\$0.00	Jason Overstreet		
	Description: Renovating existing structure						
MSC23:0018	Miscellaneous	Miscellaneous - Other	Approved		Not Assigned	Fork Union	29 24 6
	01/30/2023						
		0	\$0.00	\$0.00	Jason Overstreet		
	Description: New House						
PLANS APPLIED FOR JASON OVERSTREET:							20
JON-MIKEL WHALEN							
MSC23:0001	Miscellaneous	Miscellaneous - Other	In Review	2016 Deep Creek Rd, Palmyra, VA 22963	Not Assigned	Columbia	21 19 6
	01/03/2023						
		0	\$0.00	\$0.00	Jon-Mikel Whalen		
	Description: 36'X 48' Metal Building 3 tier Garage						
ZUP23:0001	Zoning Use Permits	Telecommunications Tower	In Review	3717 Central Plains Rd, Palmyra, VA 22963	Not Assigned	Fork Union	41 A 16
	01/11/2023	02/25/2023			Network Building & Consulting LLC Jon-Mikel Whalen		
		0	\$0.00	\$1,450.00			
MSC23:0010	Miscellaneous	Miscellaneous - Other	Approved	61 Ponderosa Ln, Palmyra, VA 22963	Not Assigned	Rivanna	18A 9 38
	01/23/2023		01/23/2023	01/23/2023			
		0	\$0.00	\$0.00	Jon-Mikel Whalen		
	Description: Deck						
MSC23:0012	Miscellaneous	Miscellaneous - Other	Approved		Not Assigned	Cunningham	27 4 4A
	01/23/2023		01/23/2023	01/23/2023			
		0	\$0.00	\$0.00	Jon-Mikel Whalen		
	Description: Detached garage						
MSC23:0013	Miscellaneous	Miscellaneous - Other	Approved	664 Blue Ridge Dr, Troy, VA 22974	Not Assigned	Palmyra	4 33 1
	01/23/2023		01/23/2023	01/23/2023			
		0	\$0.00	\$0.00	Jon-Mikel Whalen		
	Description: Detached Garage						
PLANS APPLIED FOR JON-MIKEL WHALEN:							5
GRAND TOTAL OF PLANS:							26